



Board of Adjustment Staff Report

Meeting Date: August 6, 2020

Agenda Item: 7A

ADMINISTRATIVE CASE NUMBER: WADMIN20-0007 (Kurtz Garage)

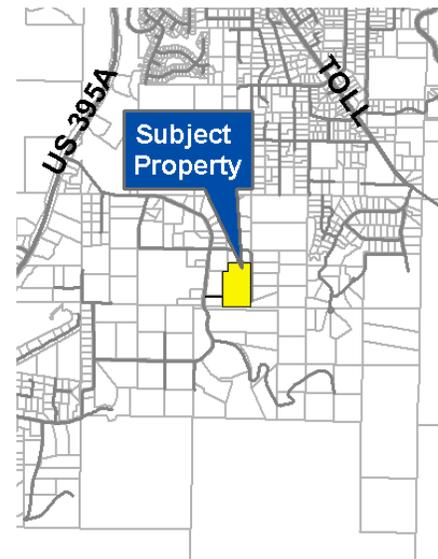
BRIEF SUMMARY OF REQUEST: To approve the construction of a detached accessory structure larger than the primary residence.

STAFF PLANNER: Chris Bronczyk
775.328.3612
cbronczyk@washoecounty.us

CASE DESCRIPTION

For possible action, hearing, and discussion to approve an administrative permit for the construction of a 6,000 square foot detached accessory structure which is larger than the primary residence.

Applicant: Monte Vista Consulting
Property Owner: Chris and Freda Kurtz
Location: 2150 Rhodes Road
APN: 017-390-22
Parcel Size: 15 Acres
Master Plan: Suburban Residential (SR) and Rural (R)
Regulatory Zone: Medium Density Rural (MDR); Low Density Suburban (LDS); and General Rural (GR)
Area Plan: South Valleys Area Plan
Citizen Advisory Board: South Truckee Meadows/Washoe Valley
Development Code: Authorized in Article 808, Administrative Permits; Article 306, Detached Accessory Structures
Commission District: 2 – Commissioner Lucey



0 3,000 6,000 Feet

Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN20-0007 for Chris and Freda Kurtz, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

(Motion with Findings on Page 7)

Staff Report Contents

Administrative Permit Definition 3
Site Plan 4
Project Evaluation 5
South Truckee Meadows/Washoe Valley Citizen Advisory Board (STMWV CAB)..... 5
Reviewing Agencies..... 6
Staff Comment on Required Findings 6
Recommendation 7
Motion 7
Appeal Process..... 8

Exhibits Contents

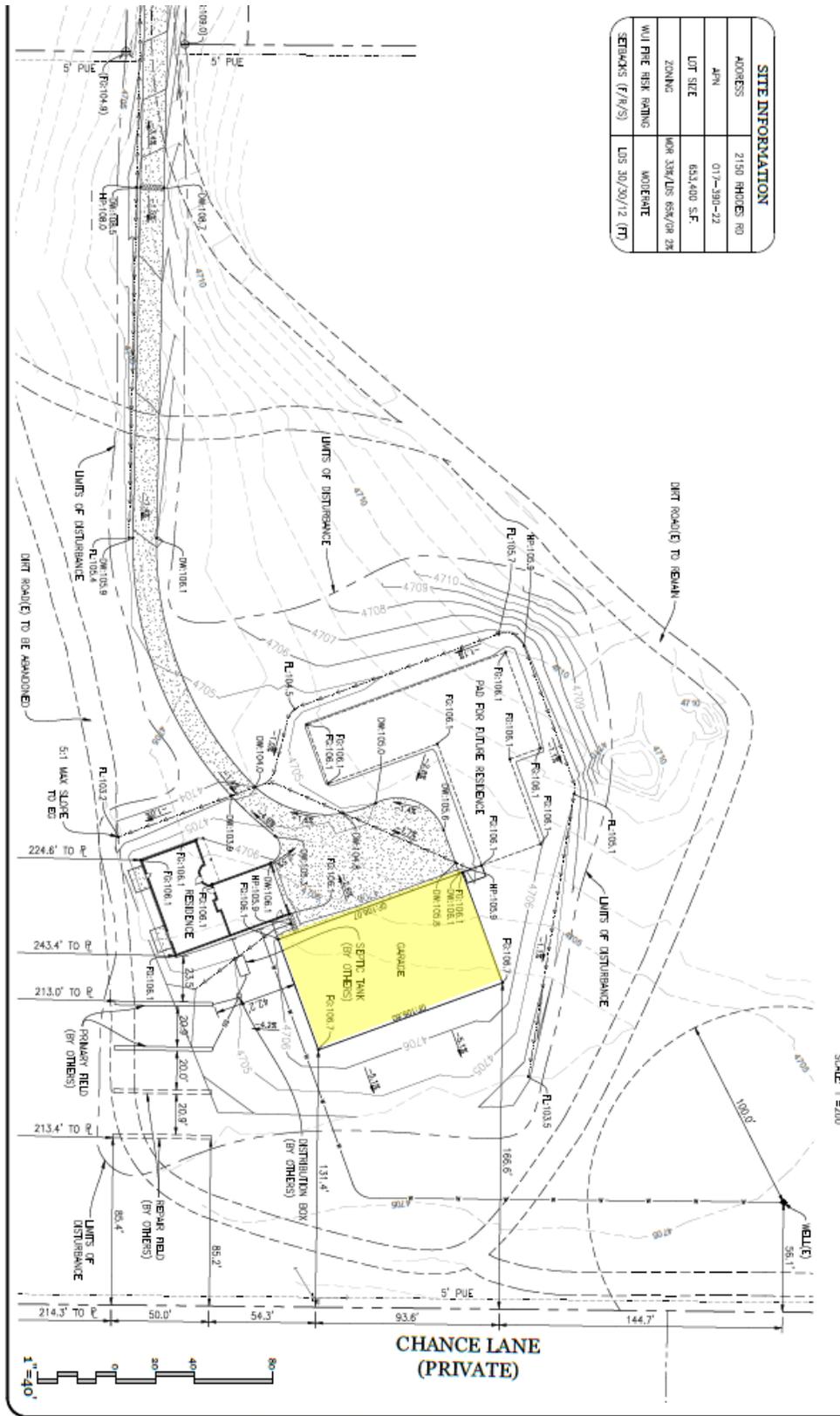
Conditions of Approval.....Exhibit A
Engineering and Capitol Projects MemoExhibit B
Truckee Meadows Fire Protection District Memo Exhibit C
Washoe County Health District Memo..... Exhibit D
Washoe-Storey Conservation District MemoExhibit E
Nevada Division of Water Resources Memo Exhibit F
Applicant CAB Memo Exhibit G
Project Application Exhibit H

Administrative Permit Definition

The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN20-0007 is attached to this staff report and will be included with the action order, if approved.

The subject property is 15 acres in size, and has the following regulatory zones, Medium Density Rural (MDR); Low Density Suburban (LDS); and General Rural (GR). The development is proposed to take place on the LDS portion of the property. The setbacks for LDS are 30 feet in the front and rear setbacks, and 12 feet for the side yard setbacks. Detached accessory structures that have a larger building footprint than the existing or, in this case, the proposed main residence are an allowed use in the regulatory zone, subject to the approval of an administrative permit pursuant to Washoe County Development Code (WCC) Section 110.306.10(d). Thus, the applicant is seeking approval of Administrative Permit Case Number WADMIN20-0007 by the Board of Adjustment.



SITE INFORMATION	
ADDRESS	2150 RHINES RD
APN	017-380-22
LOT SIZE	653,400 S.F.
ZONING	MAP 306/LDS 653/08 2B
WILL FIRE HAZ. RATING	MODERATE
SETBACKS (F/T/S)	LDS 30/30/12 (T)

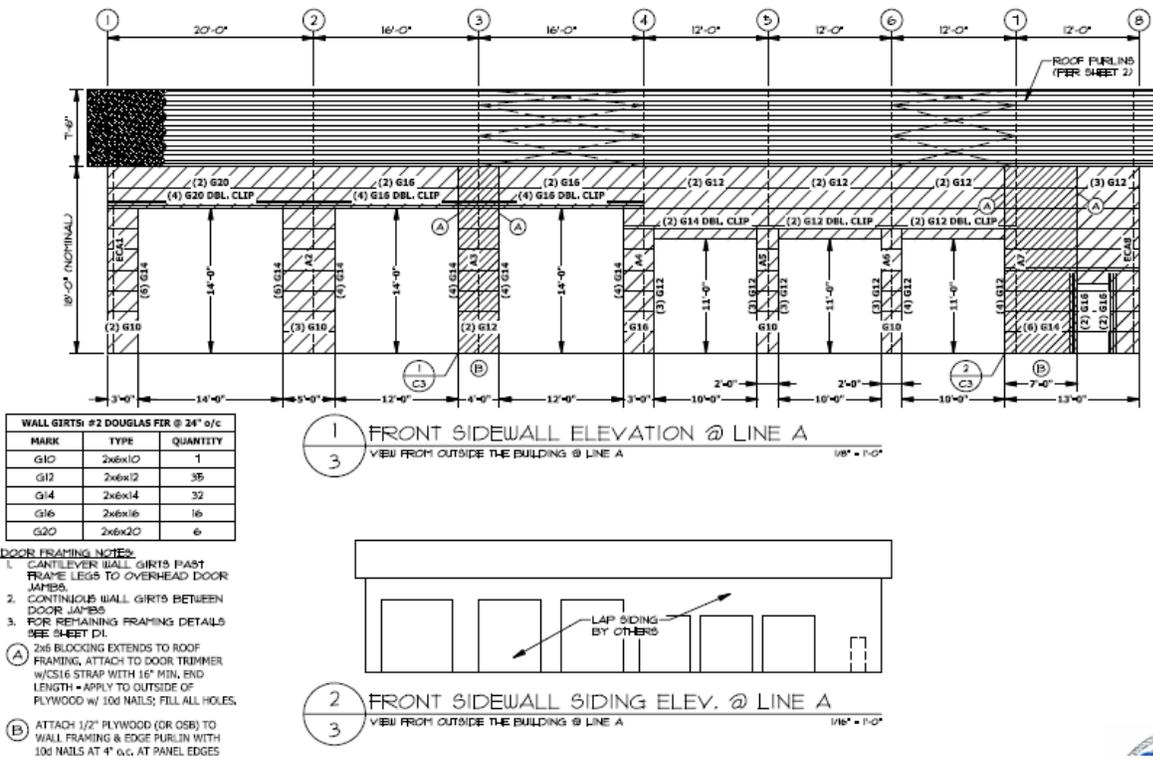
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(PRIVATE)**

PRELIMINARY ENTITLEMENT ONLY

Site Plan

Project Evaluation

The applicant is seeking to construct a 6,000 square foot detached accessory structure on the eastern portion of the roughly 15-acre parcel, between the proposed single-family dwelling and proposed secondary residence building pad. The (future) accessory dwelling will require the approval of a detached accessory dwelling administrative review prior to approval of any building permits for the accessory dwelling. The application indicates they are aware of this requirement and states the future residence is not part of this application. The proposed primary single-family dwelling is 1,497 square feet which is roughly 4,500 square feet smaller than that of the proposed structure. Pursuant to WCC Section 110.306.10(d), a proposed accessory structure with a larger building footprint than the main dwelling is allowed subject to approval of an administrative permit by the Board of Adjustment. The property is designated as Medium Density Rural (MDR); Low Density Suburban (LDS); and General Rural (GR). The proposed development will be within the LDS portion of the property and the setback requirements are 30 feet in the front and rear yards and 12 feet in the side yards. The proposed garage satisfies the setback requirements.



Grading

The proposed application does include grading elements. The site area is roughly 15 acres and the application is proposing 1,700 cubic yards of cut and 1,700 cubic yards of fill with a proposed disturbance of 1.9 acres. Section 110.438.35 (a)(1)(i)(B), Major Grading Permit Thresholds allows for grading of up to 20% (4 acres max) on parcels 6 acres of greater in size. All grading, as submitted, complies with WCC Article 438, *Grading Standards*.

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)

This item was reviewed at the regularly scheduled STM/WV CAB meeting on July 2, 2020. The board members asked a number of clarifying questions related to grading, property lines, and

the nature of the neighborhood. The proposed application was recommended for approval unanimously by the board.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Engineering and Capital Projects Division
 - Parks and Open Spaces
 - Planning and Building Division
 - Utilities/Water Rights
- Washoe County Health District
 - Vector-Borne Diseases Program
 - Environmental Health Services Division
 - Air Quality Division
- State of Nevada
 - Division of Water Resources
 - Department of Wildlife
- Regional Transportation Commission
- Washoe-Storey Conservation District

Seven out of the eleven above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The conditions of approval document is attached to this staff report and will be included with the Action Order, if approved.

- Washoe County Planning and Building Division addressed Planning and Building considerations including building setbacks, and standards for grading.
Contact: Chris Bronczyk; 775.328.3612; cbronczyk@washoecounty.us
- Washoe County Engineering and Capital Projects addressed construction improvement plan requirements.
Contact: Leo Vesely; 775.328.2040; lvesely@washoecounty.us
- Washoe-Storey Conservation District addressed vegetation plans.
Contact: Tyler Shaffer; 775.857.8500 ext. 131; shafferjam51@gmail.com
- Truckee Meadows Fire Protection District addressed requirements of the International Wildland-Urban Interface Code, as well as the International Fire Code.
Contact: Dale Way; 775.326.6000; dway@tmfpd.us
Contact: Brett Lee, 775.326.6000; blee@tmfpd.us
- Washoe County Health District provided comments related to well development, and septic requirements.
Contact: James English; 775.328.2610; jenglish@washoecounty.us

Staff Comment on Required Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit

request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan.

Staff Comment: There are no action programs, policies, standards or maps of the Master Plan or South Valleys Meadows Area Plan (SVAP) that prohibit the construction of a detached accessory structure (DAS) or which limits the size and/or materials used in the construction of a DAS.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed DAS will be served by a proposed driveway, and utilities.

3. Site Suitability. That the site is physically suitable for a detached accessory structure that has a larger building footprint than that of the main dwelling on the parcel, and for the intensity of such a development.

Staff Comment: The 15-acre parcel contains adequate space and is physically suitable to accommodate the structure.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The proposed structure will not be significantly detrimental to public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the required noticing area for this request. Therefore, this finding is not applicable.

Recommendation

After a thorough analysis and review, Administrative Permit Case Number WADMIN20-0007 is being recommended for approval with conditions.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN20-0007 for Chris and Freda Kurtz, having made all five findings in accordance with Washoe County Development Code Section 110.808.25:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an

adequate public facilities determination has been made in accordance with Division Seven;

3. Site Suitability. That the site is physically suitable for a detached accessory structure that has a larger building footprint than that of the main dwelling on the parcel, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant: Chris and Freda Kurtz
PO Box 19434
Reno, NV 89511

Representatives: Monte Vista Consulting, Ltd.
575 E. Plumb Lane, Suite 101
Reno, NV 89502
Attn: Mike Vicks



Conditions of Approval

Administrative Permit Case Number WADMIN20-0007

The project approved under Administrative Permit Case Number WADMIN20-0007 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on August 6, 2020. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies:

- a. **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Chris Bronczyk; 775.328.3612; cbronczyk@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- e. Prior to any ground disturbing activity, the applicant shall submit a landscaping design plan to the Planning and Building Division for review and approval. Said plan shall address parking, parking lot circulation and striping, signage, exterior lighting, trash enclosures, landscaping and plant material, type and size of plants, maturation size at full growth, landscaping location, and landscaping irrigation system.
- f. All landscaping, irrigation and screening shall be completely installed and shall satisfy the requirements as set forth in the Washoe County Development Code prior to issuance of a Certificate of Occupancy.
- g. The following **Operational Conditions** shall be required for the life of the business:
 - i. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval null and void.

- iii. All landscaping and irrigation systems shall be maintained at all times to conform with the Landscaping Section of the Washoe County Development Code for the life of the business, including the replacement of dead plants, trees, shrubs and all ground cover.
- iv. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
- v. This administrative permit shall remain in effect as long as the business is in operation and maintains a valid business license.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely; 775.328.2313; ivesely@washoecounty.us

- a. The applicant/developer shall obtain from CSD – Planning and Building, a building/grading permit for construction of this project.
- b. A complete set of construction improvement drawings, including an on-site grading /site plan, shall be submitted when applying for a building/grading permit. Grading shall comply with Best Management Practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), and slope stabilization. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property. Any necessary grading shall comply with County Code Article 438, Grading Standards.

Truckee Meadows Fire Protection District (TMFPD)

3. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis (phased development) as determined by TMFPD.

Any future development of a single, multiple, or all parcels will be subject to currently adopted Fire and Wildland-Urban Interface Codes at the time of development on the specific parcel.

Contact Name – Dale Way, 775.326.6000, Dway@tmfpd.us

Washoe County Health District

4. The following condition is a requirement of the Health District, which shall be responsible for determining compliance with this condition. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name – James English; 775.328.2610; Jenglish@washoecounty.us

- a. Property owner must meet all of the applicable sections of the District Board of Health Regulations Governing Well Construction. State approval will be necessary for adding a second residence to the well when it is built.

- b. Property owner must meet all the applicable sections of the District Board of Health Regulations Governing Sewage, Wastewater and Sanitation. Each dwelling will need its own individual onsite sewage disposal (septic) system.

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
PO BOX 11130
RENO, NEVADA 89520-0027
PHONE (775) 328-3600
FAX (775) 328.3699

Date: July 8, 2020

To: Chris Bronczyk, Planner, Planning and Building Division

From: Leo Vesely, P.E., Engineering and Capitol Projects Division

Re: Administrative Permit Case **WADMIN20-0007 – Kurtz Residence**
APN 017-390-22

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Administrative Permit is to approve a Detached Accessory Structure of 6,000 square feet. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the application prepared by Monte Vista Consulting. The County Engineer shall determine compliance with all the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2313

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Any necessary grading shall comply with County Code Article 438, Grading Standards.

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo Vesely, P.E. (775) 328-2313

There are no Drainage related comments.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitchell Fink (775) 328-2050

There are no traffic related conditions of approval.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

There are no utility related conditions of approval.



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE



Chris Bronczyk, Planner
Washoe County – Community Services Department
1001 E. Ninth St
Reno, NV 89512
775.328.3612

Re: WADMIN20-0007 – Conditions of Approval

Truckee Meadows Fire Protection District (TMFPD)

The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis (phased development) as determined by TMFPD.

Any future development of a single, multiple, or all parcels will be subject to currently adopted Fire and Wildland-Urban Interface Codes at the time of development on the specific parcel.

Contact Name – Dale Way / Brett Lee, 775.326.6000, dway@tmfpd.us / blee@tmfpd.us

Fire Apparatus Access Roads

1. Fire apparatus access roads shall be in accordance with *International Fire Code* Appendix D and all other applicable requirements of the IFC. (IFC 503.1 / D101.1)
2. Approved fire apparatus access roads shall be required for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access roads shall comply with the requirements of IFC Section 503 and Appendix D and shall extend to within 150 feet of all portions of the facility and all portions of the *exterior walls* of the first story of the building as measured by an *approved* route (as the hose lays around obstructions) around the exterior of the building or facility. (IFC 503.1.1)
3. Fire apparatus access roads shall have an all-weather surface and be capable of supporting the weight of Fire District apparatus (80,000 pounds). (IFC 503.2.3 / D102.1)
4. Fire apparatus access roads shall have a minimum width of 20 feet (with no parking), 26 feet (one side parking), and 32 feet (parking on both sides), exclusive of shoulders, and an unobstructed vertical clearance of not less than 13 feet 6 inches. (IFC 503.2.1 / D103.6.1 / D103.6.2)



5. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet (7925 mm), exclusive of shoulders (see Figure D103.1). (IFC D103.1)
6. Fire apparatus access roads less than the width required for parking on both sides shall be marked and/or signed in accordance with Section 503.3 and Appendix D103.6 to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. (IFC 503.3 / D103.6)
7. Fire apparatus access roads shall not exceed 10 percent in grade. Angles of approach and angles of departure must not exceed 6 percent for 25 feet before or after the grade change. (IFC D103.2 / 503.2.8)
8. Fire apparatus access roads shall have a minimum inside turning radius of 28 feet, and a minimum outside turning radius of 52 feet. (IFC D103.3)
9. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4. (IFC D103.4)
10. Developments of one- or two-family *dwelling*s where the number of *dwelling units* exceeds 30 shall be provided with two separate and *approved* fire apparatus access roads. (IFC D107.1)

Fire Protection Water Supplies

1. An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.1)
2. The number of fire hydrants available to a building shall be not less than the minimum specified in Table C102.1. (IFC C102.1)
3. Fire hydrant systems shall comply with Washoe County Standard Detail W-23 and IFC Sections 507.5.1 through 507.5.6. (IFC 507.5 / Washoe County Code)
4. Fire hydrants must be spaced at a maximum separation of 500 feet along the required apparatus access lane in residential areas and 1,000 feet where not required for structures to provide for transportation hazards. Hydrant spacing may be increased by 125 feet if all structures within the development are provided with fire sprinkler protection. There is no allowable increase for hydrants installed for transportation hazards. (IFC Table C102.1)
5. In developments with R-3 occupancies, where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 600 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. (IFC 507.5.1)



6. Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. (IFC 507.5.4)
7. A 3-foot minimum clear space shall be maintained around the circumference of fire hydrants, as measured from the furthest edge of a fire hydrant in any direction. (IFC 507.5.5)
8. Fire hydrants shall not be located within six feet of a driveway, power pole, or light standard. (IFC 507.5.6)
9. Fire hydrants shall be located adjacent to apparatus access lanes and a minimum of four feet and a maximum of seven feet from back of curb. Provide a detail on the plans. (IFC 507.5.6)
10. Fire hydrants shall have a concrete pad around the base in accordance with Washoe County Standard Detail W-23.

International Wildland-Urban Interface Code

1. All parcels located in other than a Low Hazard WUI Rating shall comply with all provisions of the IWUI as adopted and amended by TMFPD and Washoe County Building.
2. The IWUI Fire Hazard designation for your project is available on the provided Washoe Regional Mapping System link. (<https://gis.washoecounty.us/wrms/firehazard>). After you have found your property using the address search feature, the color of the background area will indicate your wildland fire risk.
3. When you have determined your Fire Risk Rating use the link provided, to determine the *IWUIC* construction and defensible space requirements. (https://www.washoecounty.us/building/Files/Files/2012%20WUI%20CODE%20GUIDE_rev%2011-25-13.pdf).



**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

July 6, 2020

Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: Kurtz Residence; 017-390-22
Administrative Permit; WADMIN20-0007

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division, which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: Property owner must meet all of the applicable sections of the District Board of Health Regulations Governing Well Construction. State approval will be necessary for adding a second residence to the well when it is built.
- b) Condition #2: Property owner must meet all of the applicable sections of the District Board of Health Regulations Governing Sewage, Wastewater and Sanitation. Each dwelling will need its own individual onsite sewage disposal (septic) system.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,


James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services Division
Washoe County Health District



Washoe-Storey Conservation District

Bret Tyler Chairmen
Jim Shaffer Treasurer
Cathy Canfield Storey app
Jean Herman Washoe app

1365 Corporate Blvd.
Reno NV 89502
775 857-8500 ext. 131
nevadaconservation.com

July 6th, 2020

Washoe County Community Services Department

C/O Chris Bronczyk, Planner

1001 E Ninth Street, Bldg A

Reno, NV 89512

R: WADMIN20- 007 Kurtz residence

Dear Chris,

In reviewing the proposed construction of a 6,000 square foot structure, the Conservation District has the following comments.

We will require a vegetation plan from a qualified professional that includes a seed mix based on the soil, contingency water plan, fertilizer plan, erosion control structures and a monitoring plan with updates provided to the Conservation District after the growing season (October 31) every year for a three year period.

If roadside ditches are proposed adjacent to the access roadway to the parcel, 4-6-inch rock shall be placed in the flow line to minimize sediment flow downstream.

We recommend the paint color palette be earth tone colors for the structure.

Thank you for providing us the opportunity to review the project that may have impacts on our natural resources.

Sincerely,

Tyler-Shaffer



**DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES
DIVISION OF WATER RESOURCES**

901 South Stewart Street, Suite 2002
Carson City, Nevada 89701-5250
(775) 684-2800 • Fax (775) 684-2811
<http://water.nv.gov>

September 23, 2019

RE: Comments on WADMIN20-0007

To: Chris Bronczyk
Washoe County Community Services Department
1001 East Ninth Street, Building A
Reno, NV 89512

Name: *Kurtz Residence*

County: Washoe County – Pleasant Valley, Highway 395 and Rhodes Road

Location: A portion of Section 3, Township 17 North, Range 20, East, MDB&M.

Plat: Tentative: One lot totaling approximately 15.0 acres and being Washoe County Assessor's Parcel Number 017-390-22.

**Water Service
Commitment**

Allocation: Domestic Well.

**Owner-
Developer:** Chris & Freda Kurtz Trust
P. O. Box 19434
Reno, NV 89511

Engineer: Monte Vista Consulting
575 East Plumb Lane, Suite 101
Reno, NV 89502

**Water
Supply:** Domestic Well

General: There are no active water rights appurtenant to the described lands in this proposed project. The lands of the proposed project lie within the Truckee Meadows Water Authority service area. Any water used on the described lands should be provided by an established utility or under permit issued by the State Engineer's Office.

An existing domestic well, Well Log Number 134236, resides on the property. Be advised, a domestic well is not a water right, is subject to NRS 534.350(8), and is limited to 2 acre-feet annually. A permit will be required should a second residence be built on this parcel with the intent of using the existing well as a source of water.

All waters of the State belong to the public and may be appropriated for beneficial use pursuant to the provisions of Chapters 533 and 534 of the Nevada Revised Statutes (NRS), and not otherwise.

Any water or monitor wells, or boreholes that may be located on either acquired or transferred lands are the ultimate responsibility of the owner of the property at the time of the transfer and must be plugged and abandoned as required in Chapter 534 of the Nevada Administrative Code. If artesian water is encountered in any well or borehole it shall be controlled as required in NRS § 534.060(3).

Municipal water service is subject to Truckee Meadows Water Authority rules and regulations and approval by the Office of the State Engineer regarding water quantity and availability.

Action: Tentative approval of *Lifestyle Homes* will be based on service by domestic well

Best regards,

Steve Shell

Steve Shell
Water Resource Specialist II



Washoe County Community Services Department
Attn: Christopher Bronczyk
1001 East 9th Street
Reno, NV 89512

July 13, 2020

RE: WADMIN20-0007 – Kurtz Garage Administrative Review – CAB Questions Response

The following is an itemized list of responses to the questions raised in the July 2, 2020 Citizens Advisory Board meeting regarding the Administrative Review Application:

1. Does this project trigger a major grading permit?
 - a. No, this project does not trigger a major grading permit. The site is 15 acres and therefore allows for up to 20% (3 acres) of grading and only 1.3 acres of disturbance are proposed. Additionally, 5,000 cubic yards of excavation are allowed and only 1,700 cubic yards of excavation are proposed.
2. Is this project in line with the neighborhood?
 - a. We believe the project is consistent with the neighborhood. There are three other large horse arenas in the immediate vicinity of the site, all over 4 times larger than the proposed detached garage.
3. Does this project impact or cross other properties?
 - a. No, all access is proposed directly from Rhodes road and all grading activities will be contained onsite.

Please contact Monte Vista Consulting if you have any questions or if there is anything else I can help with.

Sincerely,
Monte Vista Consulting

Michael Vicks, P.E.
Principal



July 13, 2020

ADMINISTRATIVE PERMIT

FOR

The Kurtz Residence

Prepared For:

Kurtz Trust, Chris & Freda
PO Box 19434
Reno, NV 89511
775.849.9830

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

June 2020

20.032

Table of Contents

- Washoe County Development Application
- Property Owner Affidavit
- Administrative Permit Supplemental Information
- Narrative
- Zoning & Vicinity Map
- Required Plans (full size plans at back of application)
 - Site Plan
 - Floor Plan
 - Building Elevations
- Additional Information
 - Proof of Property Tax Payment

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Kurtz Residence			
Project Description: The construction of a single family residence with a detached garage as well as a building pad for a future residence.			
Project Address: 2150 Rhodes Rd, Washoe County, NV 89521			
Project Area (acres or square feet): 15 Acres			
Project Location (with point of reference to major cross streets AND area locator):			
<small>The site is on the east side of Rhodes Rd between Chance Ln and Willomonte Rd. The east side of the site is on the west side of Chance Ln. Access to the site is off Rhodes Rd.</small>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-390-22	15		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Kurtz Trust, Chris & Freda		Name: Monte Vista Consulting, Ltd.	
Address: PO Box 19434, Reno, NV		Address: 575 E. Plumb Lane, Suite 101, Reno, NV	
Zip: 89511		Zip: 89502	
Phone: 775.849.9830	Fax:	Phone: 775.636.7905	Fax:
Email: ckurtz@cisnv.com		Email: mike@montevistaconsulting.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chris Kurtz		Contact Person: Mike Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Owner		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Chris and Freda Kurtz of The Chris and Freda Kurtz Trust

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Freda Kurtz and Chris Kurtz of the Chris and Freda Kurtz Trust
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 017-390-22

Printed Name Freda Kurtz, TTE
Chris Kurtz, TTE

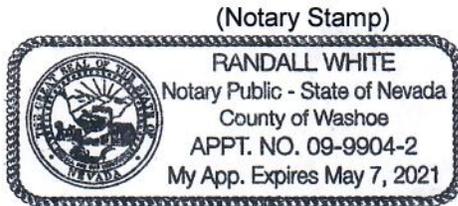
Signed Freda Kurtz, TTE
Chris Kurtz, TTE

Address 202 Paddington Ct, Reno, NV
89511

State of Nevada
County of Washoe
Subscribed and sworn to before me this
29th day of May, 2020.

[Signature]
Notary Public in and for said county and state

My commission expires: May 7, 2021



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Permit Application
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

Residential

2. What section of the Washoe County code requires the Administrative permit required?

Section 110.306.10 - Detached Accessory Structures

3. What currently developed portions of the property or existing structures are going to be used with this permit?

The site is currently undeveloped with the exception of several existing dirt roads.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New improvements will consist of a residence, detached garage, driveway, and septic system which will be constructed in a single phase.

5. Is there a phasing schedule for the construction and completion of the project?

The project will be constructed in a single phase, however, a future residence is planned.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The slopes in the area of the proposed structures are ideal for development and proper drainage. The parcel is zoned for residential which will be the intended use for the project.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The proposed improvements will increase the tax base with development consistent with the surrounding uses.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

All disturbed areas will be landscaped or re-vegetated to natural conditions while maintaining defensible space requirements.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

N/A

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The residence includes a 2-car garage and the detached garage can accommodate 6+ vehicles in addition to driveway parking.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Landscaping and re-vegetation will consist of natural vegetation.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Typical on building residential lighting will be provided.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	Septic System
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

The owner has the water rights to the site and an existing well is on the site.

Project Information

Location: 2150 Rhodes Road

APN: 017-390-22

Site Area: 15 ac

Developed Area: 0.0 ac

Disturbance: 1.9 ac

Zoning: MDR 33%/LDS 65%/GR 2%

Master Plan Designation: SR

Proposed Use: Single Family Residential

Administrative Permit Required for: Per Washoe County Code 110.306.10 (d) a garage that is larger than the main structure.

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Rhodes Road and existing dirt roads that loop throughout the site that are minimally used. The slopes throughout the site are generally mild with some areas having steeper slopes. The driveway access to the site slopes between 1 – 7%. The slopes in area where the proposed development will occur range from 1 to 3%. All other areas of the site slopes between 1 to 14%.

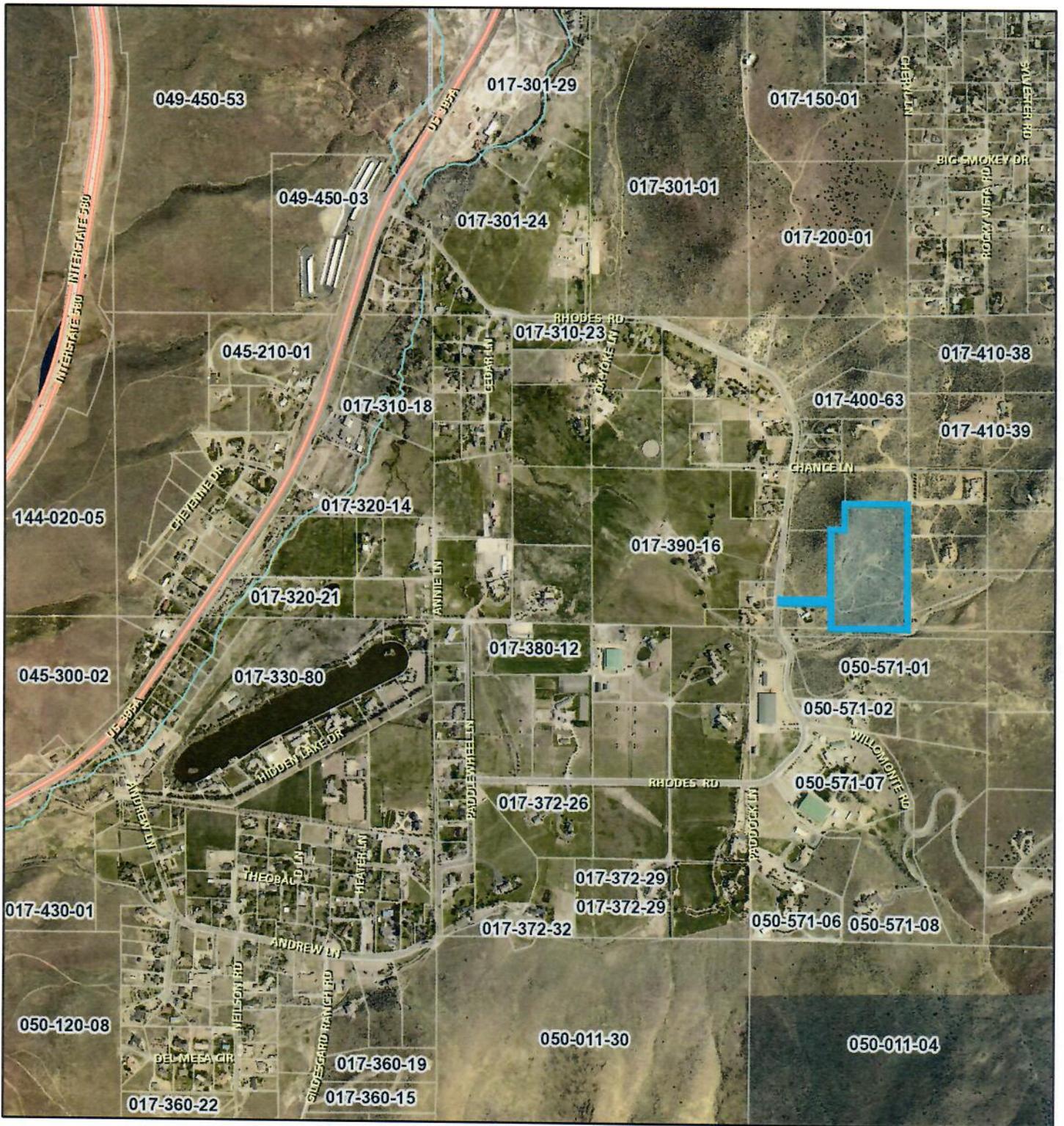
Surrounding Properties:

- | | | |
|---|----------------------|-------------------|
| ○ North: Undeveloped Residential | Zoning: MDR, LDS, GR | Use: Vacant |
| ○ South: Undeveloped Residential | Zoning: HDR | Use: Vacant |
| ○ East: Undeveloped & Developed Residential | Zoning: MDR, HDR | Use: Vacant & SFR |
| ○ West: Rhodes Road, Undeveloped &
Developed residential | Zoning: MDR, LDS, GR | Use: Vacant & SFR |

Proposed Development Discussion

Proposed Improvements:

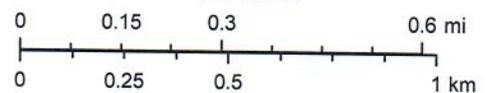
The proposed single-family residence and detached garage are consistent with the master plan and zoning. Improvements include the construction of a 1,497 s.f. residence, a 6,000 s.f. detached garage, a pad for a future residence, driveway, utility and drainage improvements. The driveway will maintain the slopes of the existing slopes of 1 to 7%. The slopes in the area proposed development will range from 1 to 5%. The area near the proposed pad for a future residence slope up to existing grade at a max of 26%. A 5,900 s.f. residence may be built in the future but is not associated with this permit. At that time, an additional Administrative Review will be required to convert the residence proposed with this application to a Detached Accessory Dwelling. In association with the proposed work, the disturbed area will be landscaped adjacent to the residence and the remainder will be revegetated with natural vegetation while maintaining the required defensible space requirements. All development will be consistent with single family residential development.



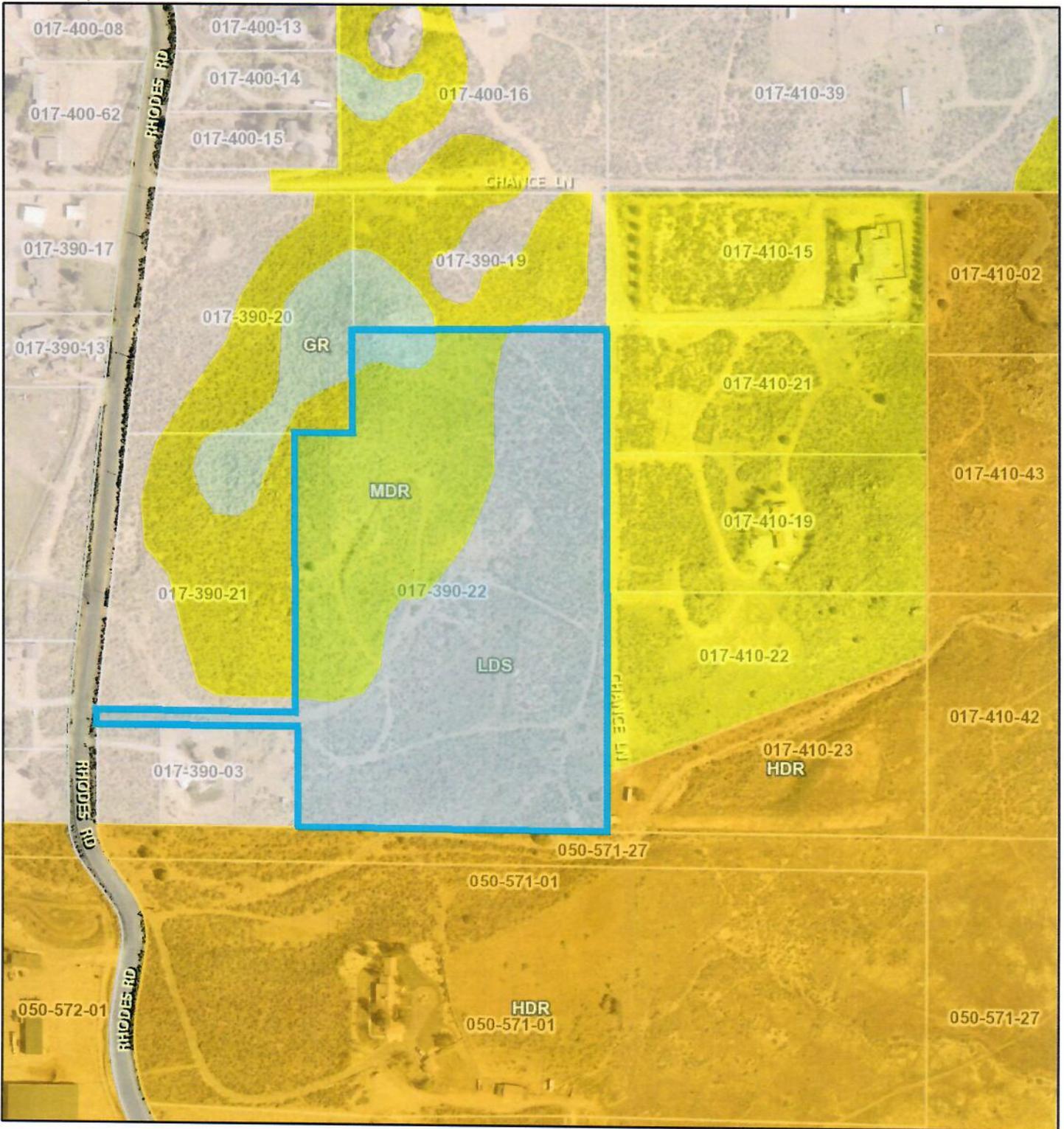
June 12, 2020

APN

1:18,056



Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

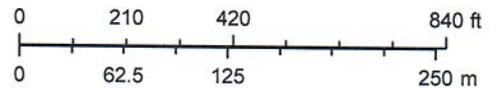


June 12, 2020

1:4,514

Regulatory Zoning

CITY	HDS	MDS	PSP	APN
DL	I	MDS4	RDS	
GC	LDR	MDU	RRRW	
GR	LDS	NC	SP	
GRA	LDS2	NDA	TC	
HDR	LDU	OS	TL	
	MDR	PR	WB	



Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

Reduced Plans

DATE:	3-27-2010
REVISIONS:	

George K. Thwaites
ARCHITECT

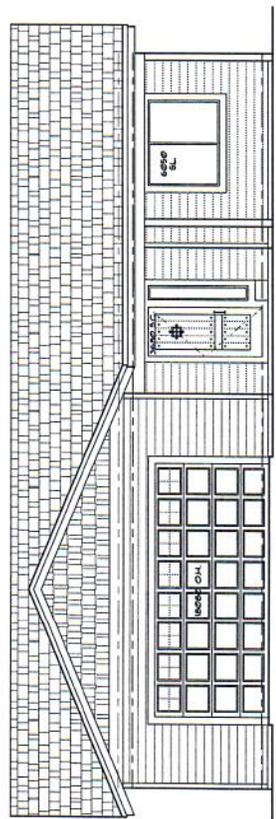
125 ARBORE WAY, STE. 285
RENO, NEVADA 89502
(775) 222-5883
WWW.GKTHWAITES.COM
GKTH@GKTHWAITES.COM

GUEST HOUSE
FOR: CHRIS & FREDA KURTZ
2150 RHODES ROAD
WASHOE COUNTY, NEVADA

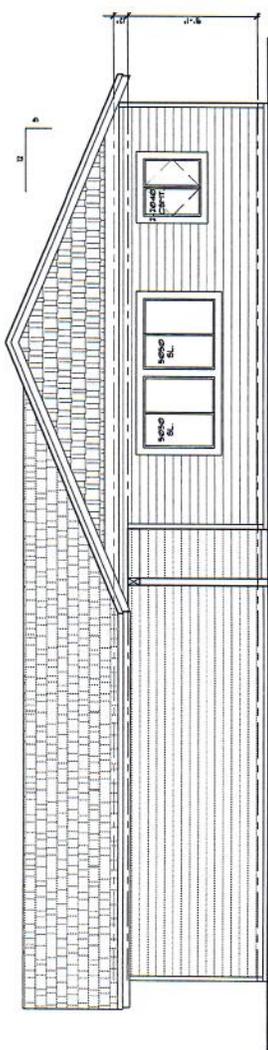
FILE NO.	2621
SHEET	A-6

ALL DESIGNS & DRAWINGS & INSTRUMENTS OF SERVICE ARE COPYRIGHT BY THE ARCHITECT UNDER PROVISIONS OF NRS 623. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF DRAWINGS IS PROHIBITED.

- ELEVATION NOTES & EXTERIOR COLORS**
- 1. COMPOSITION SHINGLES w/ CONT. RIDGE VENT. COLOR: LIGHT
 - 2. SIDING: L. TRIT. HARDWARE: D. LAP COLOR: LIGHT
 - 3. GABLE END: SHINGLES: HARDWARE: D. LAP COLOR: LIGHT
 - 4. SIDING: SH. SASHA: SIDING: L. TRIT. COLOR: LIGHT
 - 5. ENTRY DOOR: HARDWARE: D. LAP COLOR: LIGHT
 - 6. WINDOWS: HARDWARE: D. LAP COLOR: LIGHT
 - 7. GARAGE DOOR: HARDWARE: D. LAP COLOR: LIGHT
 - 8. GARAGE DOOR: HARDWARE: D. LAP COLOR: LIGHT
 - 9. SIDING: SHINGLES: HARDWARE: D. LAP COLOR: LIGHT



NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"

DATE	5-17-2010
REVISIONS	

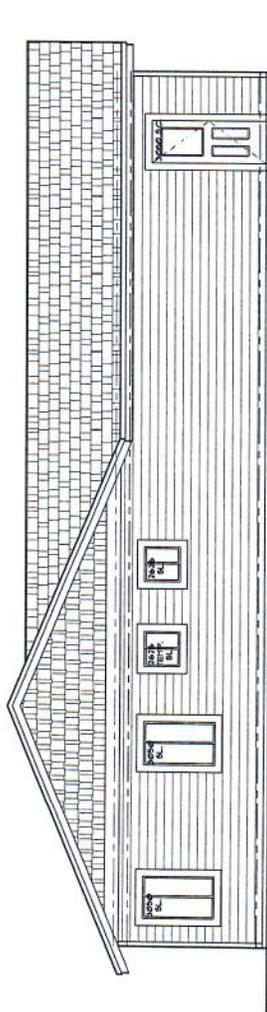
George K. Howdridge
ARCHITECT

1325 ARBOVITE WAY, STE. 285
RENO, NEVADA 89502
(775) 322-8388 FAX
(775) 322-8388
GKH@gnmhd.com
WWW.GNMD.COM

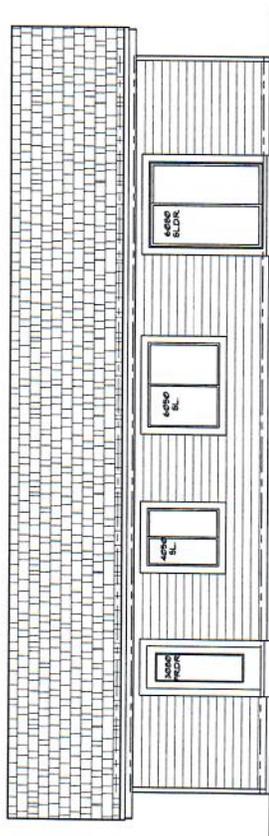
QUIET HOUSE
FOR
CHRIS & FRIDA KURTZ
2150 RHODES ROAD
WASHOE COUNTY, NEVADA

FILE NO.	7921
SHEET	A-7

ALL DESIGN & DRAWING REVISIONS AND CORRECTIONS TO BE MADE BY THE ARCHITECT UNDER PROVISIONS OF NRS 623. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF DESIGNS OR DRAWINGS IS PROHIBITED.



NORTHEAST ELEVATION
SCALE 1/4" = 1'-0"

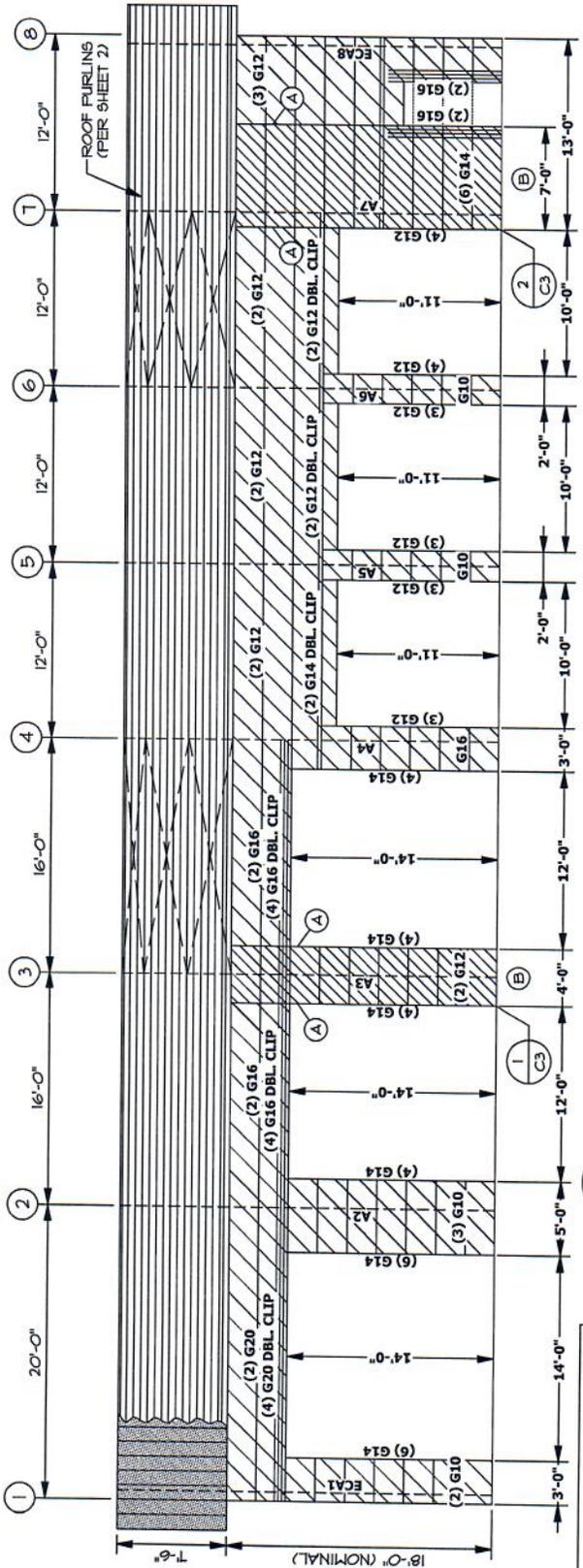


SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"

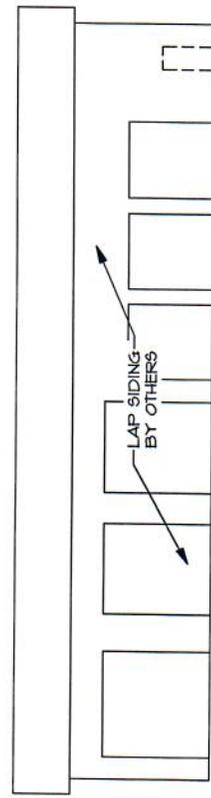
**ELEVATION NOTES &
EXTERIOR COLORS**

1. CORROSION RESISTANT W/ CONT. IMPROVEMENT.
COLOR:
2. BRUSHED TRIM.
HARVEY BDT LAP
COLOR:
3. SABLE END SIADEL.
HARVEY BDT CEDAR SHAKE
COLOR:
4. HARBOR BDT SASHA. SIDES & BEZELS.
101 DELUXE FLAT ACRYLIC PAINT
COLOR:
5. BRISTL DOORS.
HARVEY BDT SASHA.
COLOR: NATURAL WOOD TONE
6. WINDOWS.
ANDERSON 500 SERIES
COLOR: FACTORY 627
7. OIL GARAGE DOORS.
NEIL STEEL BASED PANEL.
COLOR: PAINT TO MATCH SIDING
8. GARAGE MAIN DOORS.
NEIL STEEL BASED PANEL.
COLOR: PAINT TO MATCH SIDING
9. VENTS, FLASHING, ELLSES.
COLOR: PAINT TO MATCH ROOF

FRONT SIDEWALL DETAILS
 ELEVATION & SIDING PLAN
 (AT LINE A)



1 FRONT SIDEWALL ELEVATION @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"



2 FRONT SIDEWALL SIDING ELEV. @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/16" = 1'-0"

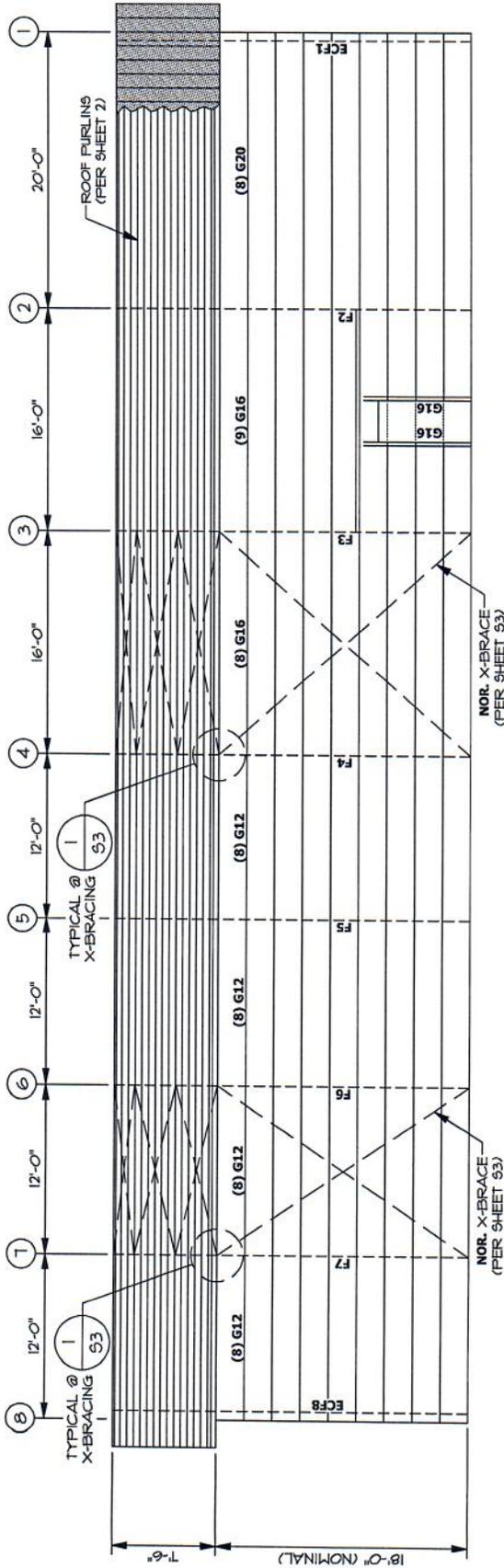
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	35
G14	2x6x14	32
G16	2x6x16	16
G20	2x6x20	6

- DOOR FRAMING NOTES:**
- CANTILEVER WALL GIRTS PAST FRAME LEGS TO OVERHEAD DOOR JAMBES.
 - CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBES
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.
- (A) 2x6 BLOCKING EXTENDS TO ROOF FRAMING. ATTACH TO DOOR TRIMMER w/CS16 STRAP WITH 16" MIN. END LENGTH - APPLY TO OUTSIDE OF PLYWOOD w/ 10d NAILS; FILL ALL HOLES.
- (B) ATTACH 1/2" PLYWOOD (OR OSB) TO WALL FRAMING & EDGE PURLIN WITH 10d NAILS AT 4" o.c. AT PANEL EDGES AND 12" o.c. AT INTERMEDIATE FRAMING. BLOCK ALL PANEL EDGES (NOT SHOWN).

NOTE:

- CUSTOMER TO PROVIDE 1/2" PLYWOOD AND BLOCKING.
- SHEET ENTIRE WALL w/ 1/2" PLYWOOD.

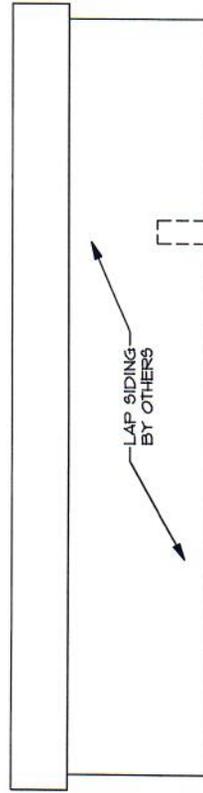


1 REAR SIDEWALL ELEVATION @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/8" = 1'-0"

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	--
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	19
G20	2x6x20	8

DOOR FRAMING NOTES:
 1. CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS FOR REMAINING FRAMING DETAILS
 2. SEE SHEET D1.



2 REAR SIDEWALL SIDING ELEV. @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/16" = 1'-0"

LEFT ENDWALL DETAILS
 ELEVATION & SIDING PLAN
 (AT LINE 1)

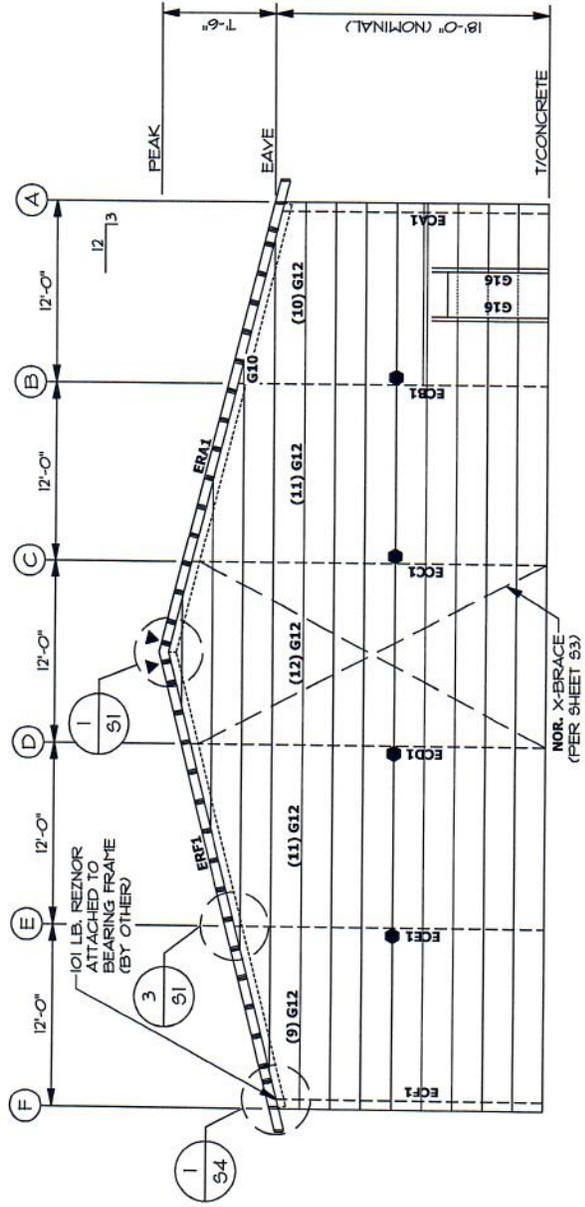
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
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G12	2x6x12	33
G14	2x6x14	--
G16	2x6x16	2

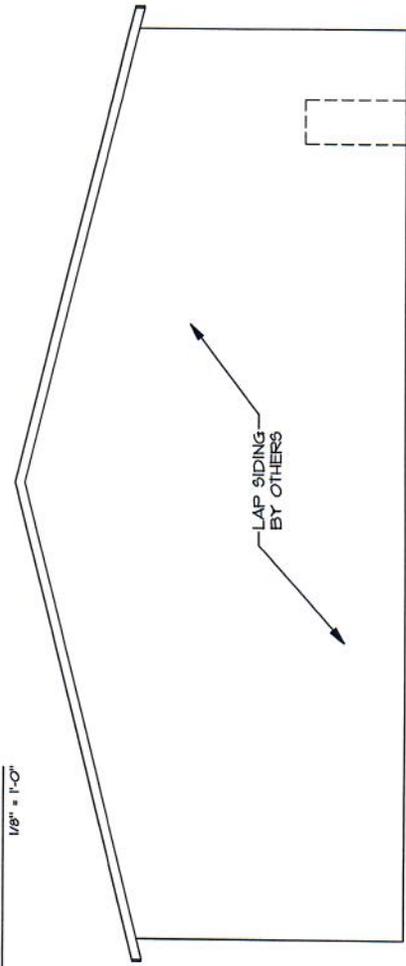
SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1x1x1/8"	2
●	COLUMN BRACE	18"	L1x1x1/8"	4
ERF1	ENDWALL RAFTER FI		C8x11.5	
ERA1	ENDWALL RAFTER AI		C8x11.5	
ECF1	ENDWALL COLUMN FI		H953x3x3/16	
ECE1	ENDWALL COLUMN EI		W8x15	
ECD1	ENDWALL COLUMN DI		W8x15	
ECC1	ENDWALL COLUMN CI		W8x15	
ECB1	ENDWALL COLUMN BI		W8x15	
ECA1	ENDWALL COLUMN AI		H953x3x3/16	

- DOOR FRAMING NOTES:**
- CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.

NOTE:
 COLUMN BRACE
 (PER SHEET N2)
 @ 10'-0" TYP.



1 LEFT ENDWALL ELEVATION @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"



2 LEFT ENDWALL SIDING ELEV. @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"

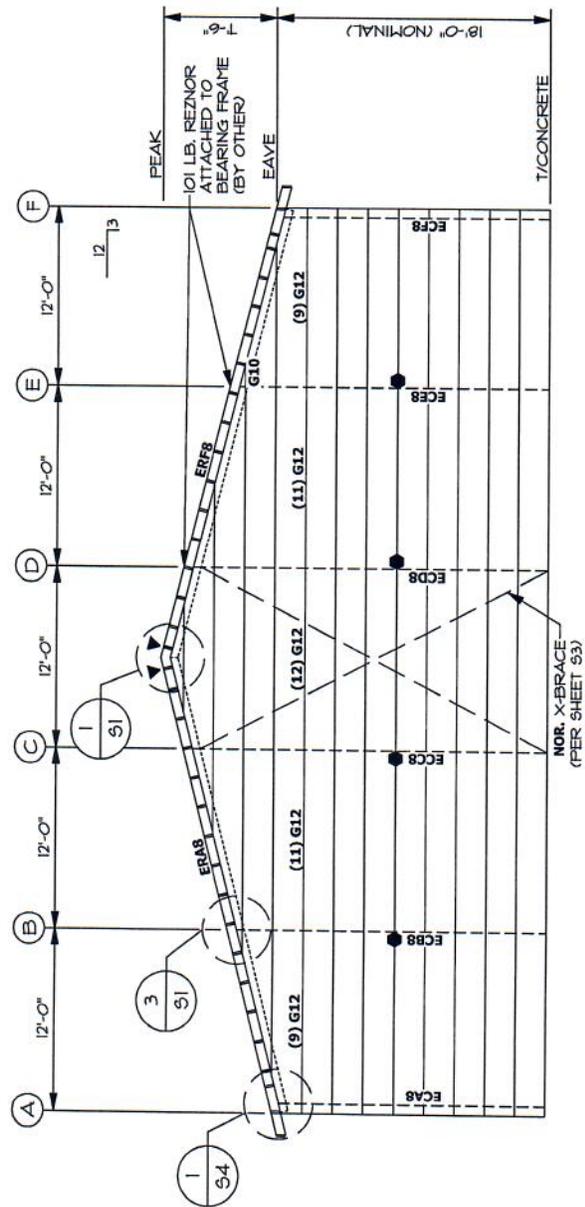


WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

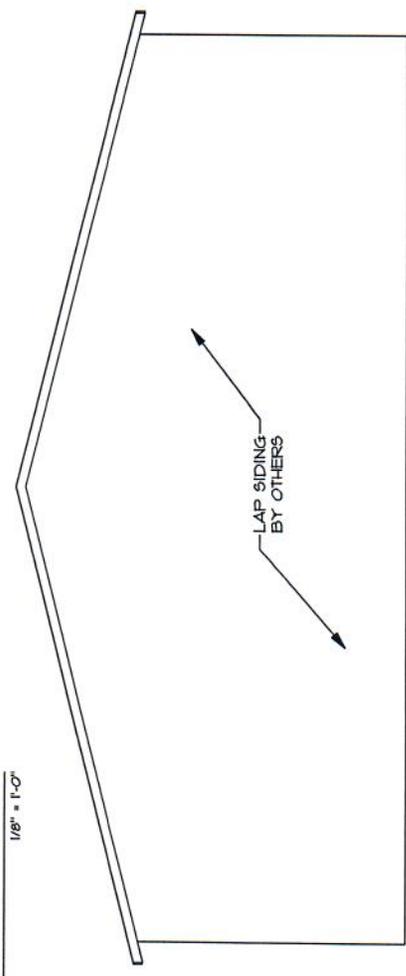
MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	--

SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1X1/8"	2
●	COLUMN BRACE	18"	L1X1/8"	4
ERA8	ENDWALL RAFTER A8		C8X11.5	
ERF8	ENDWALL RAFTER F8		C8X11.5	
ECA8	ENDWALL COLUMN A8		H53X3X3/16	
ECB8	ENDWALL COLUMN B8		W8X15	
ECC8	ENDWALL COLUMN C8		W8X15	
ECD8	ENDWALL COLUMN D8		W8X15	
ECE8	ENDWALL COLUMN E8		W8X15	
ECF8	ENDWALL COLUMN F8		H53X3X3/16	

NOTE:
 COLUMN BRACE
 (PER SHEET N2)
 @ 10'-0" TYP.



1 RIGHT ENDWALL ELEVATION @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



2 RIGHT ENDWALL SIDING ELEV. @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



Additional Information

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
01739022	Active	6/15/2020 1:40:13 AM

Current Owner:
KURTZ TRUST, CHRIS & FREDA

PO BOX 19434
RENO, NV 89511

SITUS:
2150 RHODES RD
WASHOE COUNTY NV

Taxing District
4000

Geo CD:

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2019	\$1,991.61	\$1,991.61	\$0.00	\$0.00	\$0.00
2018	\$1,900.43	\$1,900.43	\$0.00	\$0.00	\$0.00
2017	\$1,823.86	\$1,822.52	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Payment Information

Special Assessment District

Installment Date Information

Assessment Information

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.



Photo 1: Looking east the driveway access to the site from Rhodes Road.



Photo 2: North of the site looking south.



Photo 3: East of the site looking west.



Photo 4: South of site looking north.



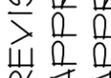
Photo 5: West of the site looking east.

GENERAL NOTES:

- CONTRACTOR/OWNER TO VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY WEB STEEL BUILDINGS NORTHWEST, LLC (WSBNW) REGARDING DISCREPANCIES PRIOR TO START OF WORK.
- DRAWING SCALES INDICATED ON PLANS ARE APPROXIMATE AND INTENDED TO BE USED FOR REFERENCE ONLY. DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES.
- GOVERNING BUILDING CODE: **2019 OREGON STRUCTURAL SPECIALTY CODE.**
- THE SUPPLYING OF STAMPED ENGINEERING CALCULATIONS AND DRAWINGS FOR THIS METAL BUILDING SYSTEM DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT WSBNW IS ACTING AS THE ENGINEER OR ARCHITECT OF RECORD OR DESIGN PROFESSIONAL FOR THE WHOLE OF THE PROJECT.
- THESE DOCUMENTS ARE STAMPED ONLY AS TO THE COMPONENTS FURNISHED BY WSBNW. IT IS THE RESPONSIBILITY OF THE PURCHASER TO COORDINATE DRAWINGS PROVIDED BY WSBNW WITH OVERALL PROJECT AND/OR OTHER PLANS AND/ OR OTHER COMPONENTS. IN CASES OF DISCREPANCIES, DRAWINGS PROVIDED BY WSBNW SHALL GOVERN.
- ANY FIELD MODIFICATIONS OR ALTERATIONS, OR THE ATTACHMENT OF ANY EQUIPMENT OR COMPONENT TO WSBNW METAL BUILDING OR THE OMISSION OF ANY PARTS OR PIECES SPECIFIED ON STAMPED DRAWINGS PROVIDED BY WSBNW WITHOUT THE EXPRESSED WRITTEN APPROVAL OF WSBNW SHALL VOID ANY AND ALL WARRANTIES AND RELEASE WSBNW FROM ANY AND ALL PROFESSIONAL LIABILITY AND/OR OBLIGATIONS.
- PERIODIC SPECIAL INSPECTIONS, PER IBC CHAPTER 1705.2, ARE REQUIRED AT OWNER'S EXPENSE AND FOR THE FOLLOWING:
 - SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16"
 - A325 BOLT INSTALLATION USING TURN OF NUT WITH MATCH MARKING OR DIRECT TENSION INDICATOR METHODS OF INSTALLATION.
- ANY ADDITIONAL INSPECTIONS REQUIRED BY BUILDING DEPARTMENT SHALL BE AT OWNER'S EXPENSE.
- ALL WELDING SHALL BE PERFORMED AT WSBNW FABRICATION FACILITY IN SANDY, OREGON WITH ETO-XX ELECTRODES BY CERTIFIED WELDERS. NO FIELD WELDING REQUIRED.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - WIDE FLANGE SHAPES: ASTM A-992
 - CHANNEL SHAPES: ASTM A-36
 - ANGLE SHAPES: ASTM A-36 (42 KSI MIN. YIELD STRENGTH)
 - HSS TUBE SHAPES: ASTM-B500
- SHOP PRIMER IS A RUST INHIBITIVE PRIMER. THE PAINT IS NOT INTENDED FOR LONG-TERM EXPOSURE TO THE ELEMENTS.
 - BOLTS SHALL CONFORM TO THE FOLLOWING STANDARDS:
 - ANCHOR BOLTS: ASTM A-307
 - BUILDING FRAME BOLTS: **ASTM A-325**, U.N.O.
 - ALL BOLT HOLES TO BE 1/16" LARGER THAN NOMINAL BOLT DIAMETER, U.N.O. INSTALL HARDENED WASHERS WHEREVER HOLE SIZE EXCEEDS THE BOLT DIAMETER PLUS 1/16". SIZE WASHER TO EXTEND BEYOND EDGES OF NUT OF BOLT HEAD.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 FOR #4 BARS AND LARGER, GRADE 40 FOR #3 BARS. WELDED WIRE MESH SHALL CONFORM TO ASTM A-185 (70 KSI MIN. Fy). LAP SLAB EDGE BARS MIDWAY BETWEEN COLUMNS. ALL LAPS TO BE 40 BAR DIAMETERS MIN, U.N.O.
 - CONCRETE STRENGTH: **3000 psi** MIN. AT 28 DAYS (FOUNDATION DESIGN IS BASED UPON 2500 PSI)
 - GRADE BEAMS, PIERS, AND SPREAD FOOTINGS SHALL BE POURED ONTO UNDISTURBED, NATIVE SOIL WHICH IS FREE FROM ANY MATERIAL THAT WILL ADVERSELY AFFECT THE SOIL DESIGN BEARING PRESSURE REFERENCED ON THIS SHEET.
 - LUMBER SHALL BE DOUGLAS FIR-LARCH OF GRADE AND SIZE AS SPECIFIED IN ABOVE NOTES AND ON PLANS. ALL NAILS USED SHALL BE 'COMMON' TYPE, U.N.O. FACE NAIL ALL MULTIPLE 2x MEMBERS TOGETHER WITH 16d NAILS @ 24" o/c, U.N.O.
 - LAG SCREW LOAD VALUES CONFORM TO N.D.S. TABLES 11K AND 10.3.2 PRE DRILL HOLES, IF NECESSARY, TO PREVENT SPLITTING OF WOOD.
 - SILL PLATE SHALL BE 2x PRESSURE TREATED ATTACHED TO FOUNDATION WITH: 1/2" ϕ SILL PLATE BOLTS (PROVIDED BY OTHERS) AT 4' o/c WITH 1" MIN. EMBEDMENT. PROVIDE ONE FASTENER OR ANCHOR BOLT WITHIN 6" OF MEMBER ENDS. MAINTAIN 2" MIN. EDGE DISTANCE FOR ALL SILL PLATE FASTENERS. NOTE: SEE DOOR FRAMING DETAIL SHEETS (AND SHEAR WALL DETAIL SHEET, IF PROVIDED) FOR SILL PLATE ATTACHMENTS THAT ARE REQUIRED IN ADDITION TO BOTH OPTIONS INDICATED ABOVE.
 - SHEET METAL SIDING AND ROOFING, SHALL BE MIN. 29 ga. UNLESS NOTED OTHERWISE. FASTEN TO PURLINS & GIRTS WITH MINIMUM #9 SCREWS @ 9" o/c, OR AS RECOMMENDED BY MANUFACTURER. SEE MANUFACTURER'S LITERATURE FOR ALLOWABLE SPAN INFORMATION AND ATTACHMENT TO SUPPORTING MEMBERS (MANUFACTURER IS RESPONSIBLE FOR ENSURING THAT PANEL AND ATTACHMENT WILL SUPPORT THE LOADS LISTED). CUSTOMER ACCEPTS ALL RESPONSIBILITY AND LIABILITY FOR ANY SIDING OR ROOFING MATERIAL USED THAT IS NOT PROVIDED BY WSBNW.

CUSTOMER APPROVAL:

ALL INFORMATION CONTAINED HEREIN HAS BEEN REVIEWED AND FOUND TO BE CORRECT AND CONSISTENT WITH MY INTENT FOR PURPOSE. I REQUEST THAT WEB STEEL BUILDINGS NW PROCEED WITH FABRICATION, UNDERSTAND AND ACCEPT ALL CUSTOMER RESPONSIBILITIES.


 REVISION AND RESUBMIT

 APPROVED FOR FABRICATION AS NOTED

 APPROVED FOR FABRICATION

SIGNED: _____ DATE: _____

DESIGN LOADS:

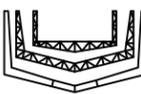
OCCUPANCY CATEGORY	II
ROOF SNOW LOAD (psf)	25
WIND LOAD (3 Sec. Gust)	120 mph / EXP 'C'
SOIL BEARING PRESSURE (psf)	1500
ROOF PURLINS DEFLECTION CRITERIA	L/240 (LIVE LOAD)
WALL GIRTS DEFLECTION CRITERIA	L/180 (TOTAL LOAD) L/120 (WIND LOAD)

DRAWING INDEX

N1	GENERAL NOTES
N2	FRAMING DETAILS
1	FOUNDATION PLAN
2	ROOF FRAMING PLAN
3	FRONT SIDEWALL DETAILS
4	REAR SIDEWALL DETAILS
5	LEFT ENDWALL DETAILS
6	RIGHT ENDWALL DETAILS
7	FRAME HALF AT A2, A3, A4, A7, F1 & F4
8	FRAME HALF AT A5 & A6
9	FRAME HALF AT F6 & F5
10	FRAME HALF AT F3 & F2
C1	ANCHOR BOLT DETAILS
C2	FOUNDATION DETAILS
C3	SHEAR WALL DETAILS
S1	RAFTER CONNECTION DETAILS
S2	FABRICATION DETAILS
S3	X-BRACE DETAILS
S4	EAVE DETAILS
S5	EAVE FRAMING DETAILS
S6	WIDE FLANGE HANGER DETAILS
D1	DOOR FRAMING DETAIL

ABBREVIATIONS:

ϕ	- CENTERLINE
PL	- PLATE
WF	- WIDE FLANGE
\emptyset	- DIAMETER
A.B.	- ANCHOR BOLT
D.A.	- DRILLED ANCHOR
EXP.	- EXPOSURE
EXT.	- EXTERIOR
INT.	- INTERIOR
MAX.	- MAXIMUM
MIN.	- MINIMUM
o/c	- ON CENTER
PT.	- POINT
REQ'D	- REQUIRED
SIM.	- SIMILAR
SYM.	- SYMMETRICAL
TYP.	- TYPICAL
U.N.O.	- UNLESS NOTED OTHERWISE

DRAWN: NSC	DATE: 4/27/2020	JOB NO: V20-013
 37396 RUBEN LANE SANDY, OR, 97055 OFFICE: (503)-668-7211 FAX: (503)-668-9026		

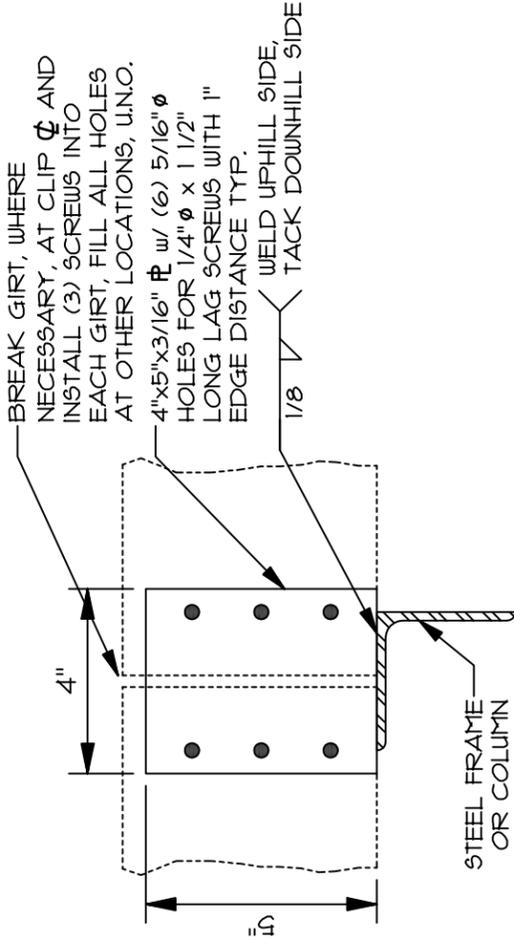
KURTZ BUILDING
 2150 RHODES ROAD
 RENO, NV 89521



SHEET

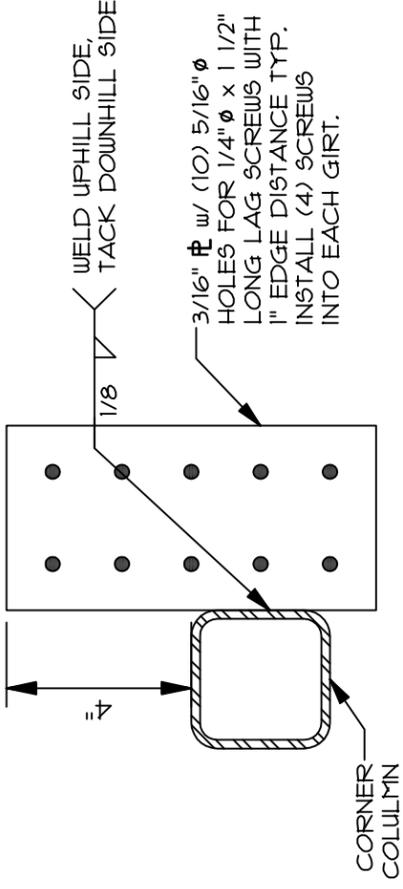
N1

ADMIN-20-0007
EXHIBIT H



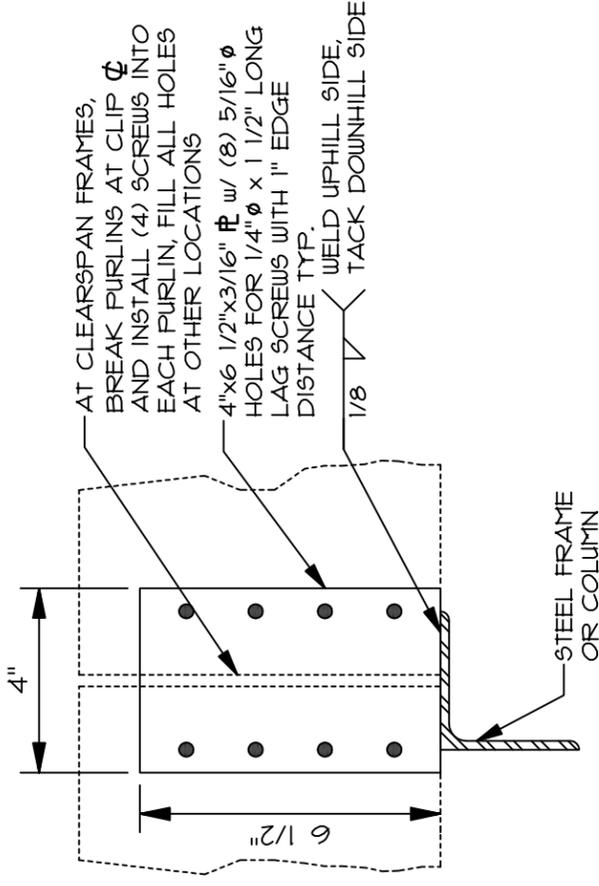
TYP. GIRT CLIP (GC28) DETAIL

3" = 1'-0"



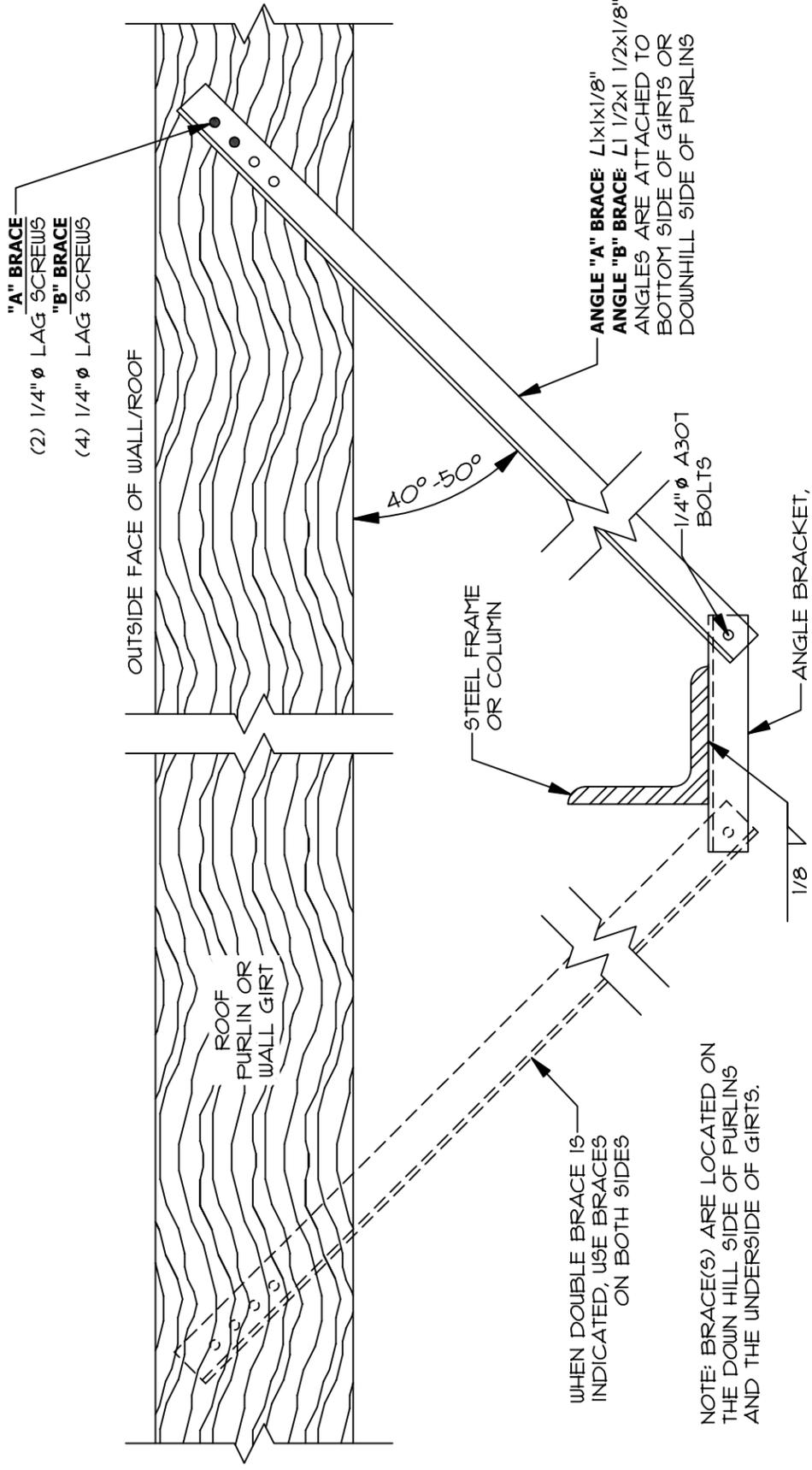
CORNER GIRT CLIP (CC212) DETAIL

3" = 1'-0"



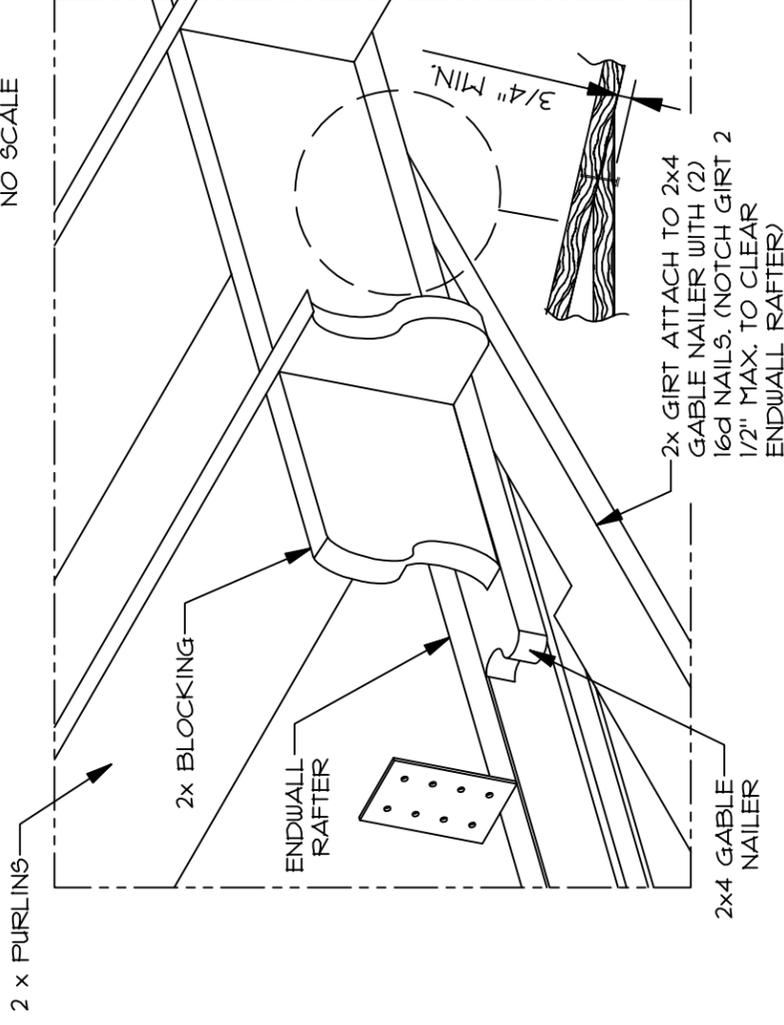
TYP. PURLIN CLIP (PC810) DETAIL

3" = 1'-0"



BRACE DETAIL: SINGLE & DOUBLE BRACES

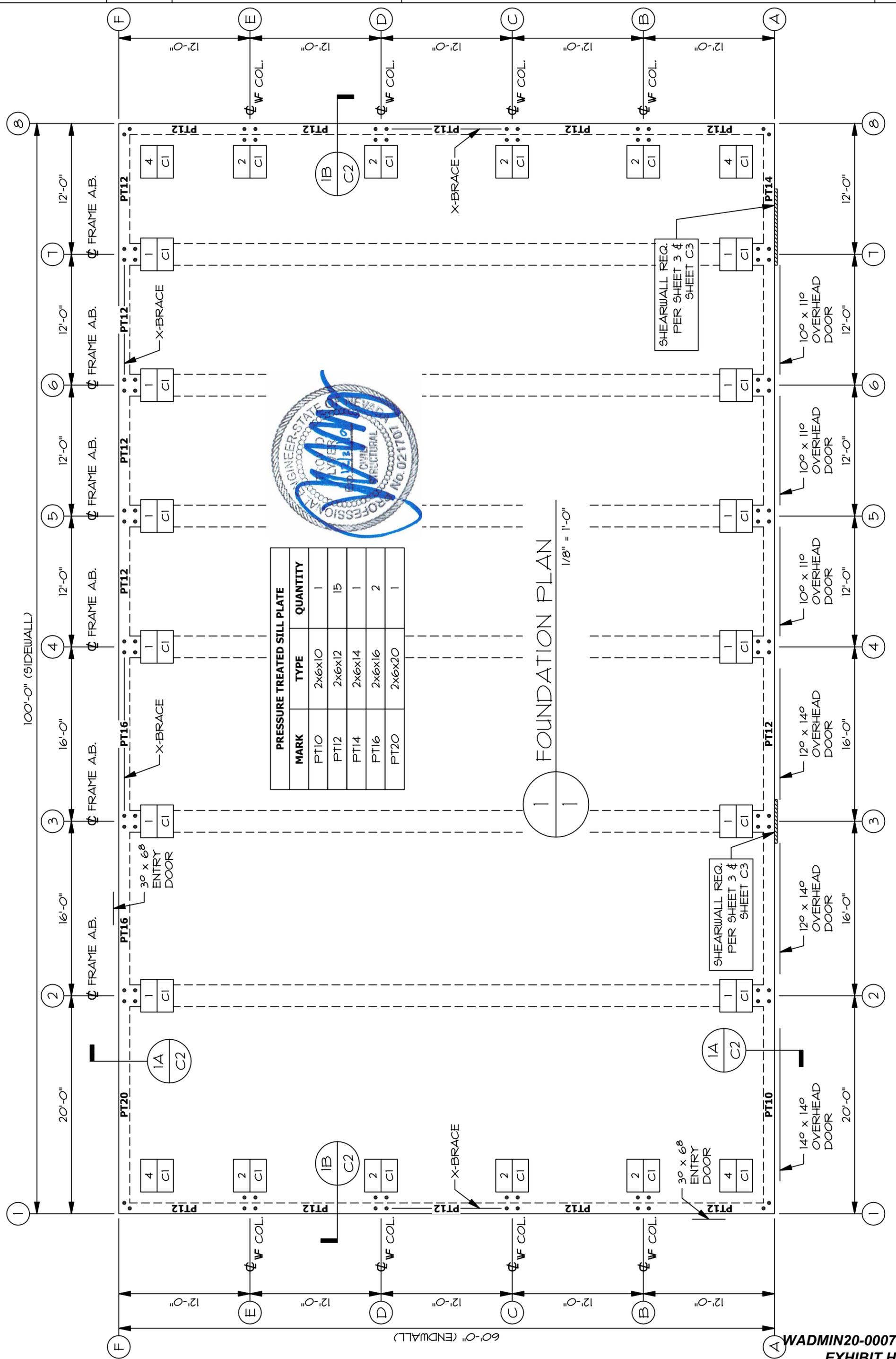
NO SCALE



GIRT-TO-FASCIA BOARD DETAIL

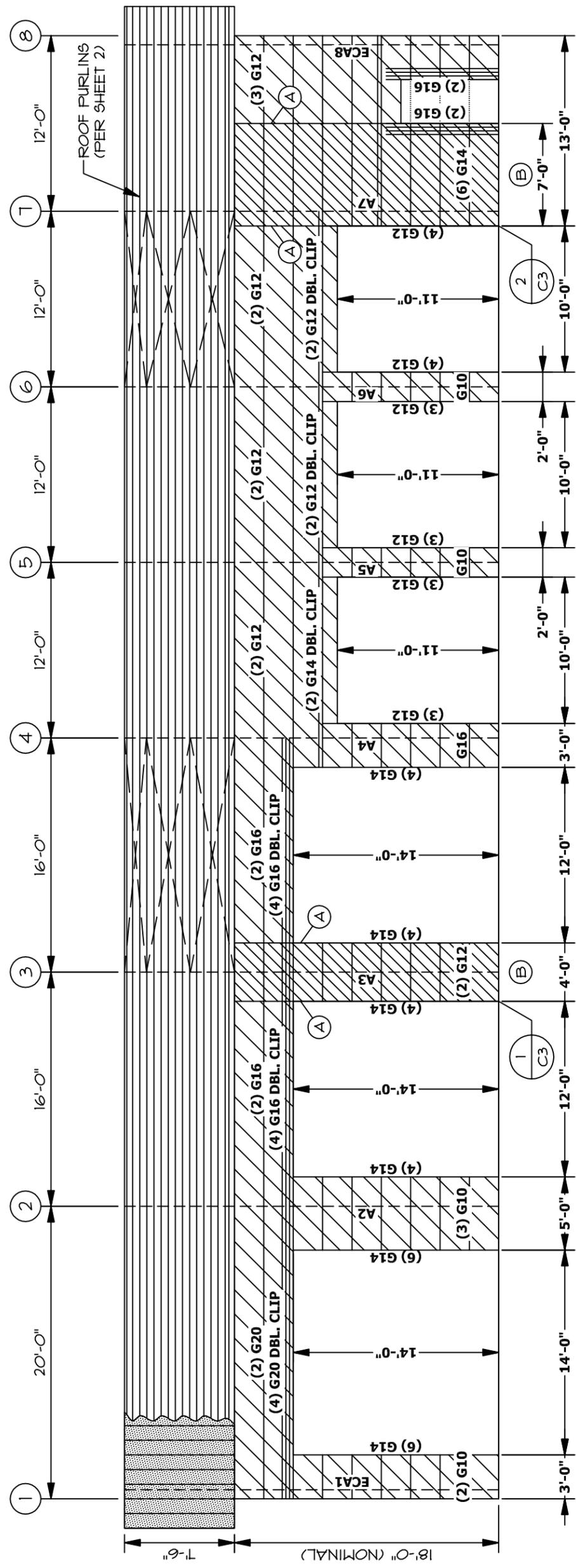
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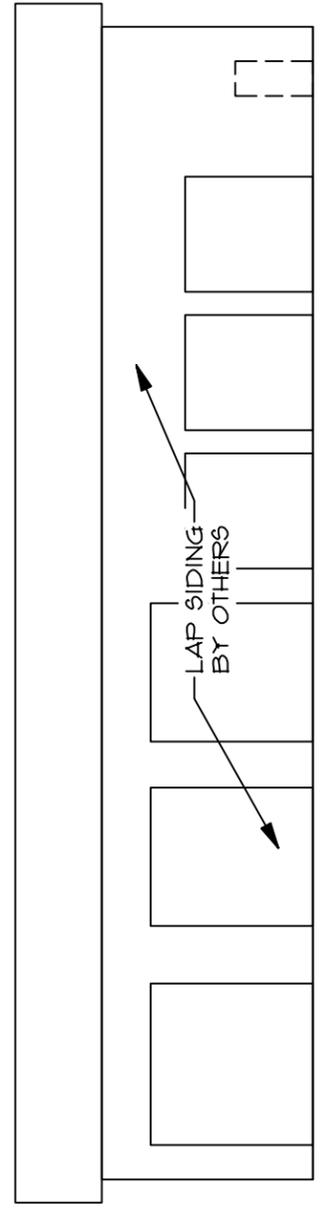


PRESSURE TREATED SILL PLATE		
MARK	TYPE	QUANTITY
PT10	2x6x10	1
PT12	2x6x12	15
PT14	2x6x14	1
PT16	2x6x16	2
PT20	2x6x20	1





1 FRONT SIDEWALL ELEVATION @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"



2 FRONT SIDEWALL SIDING ELEV. @ LINE A
 VIEW FROM OUTSIDE THE BUILDING @ LINE A
 1/8" = 1'-0"

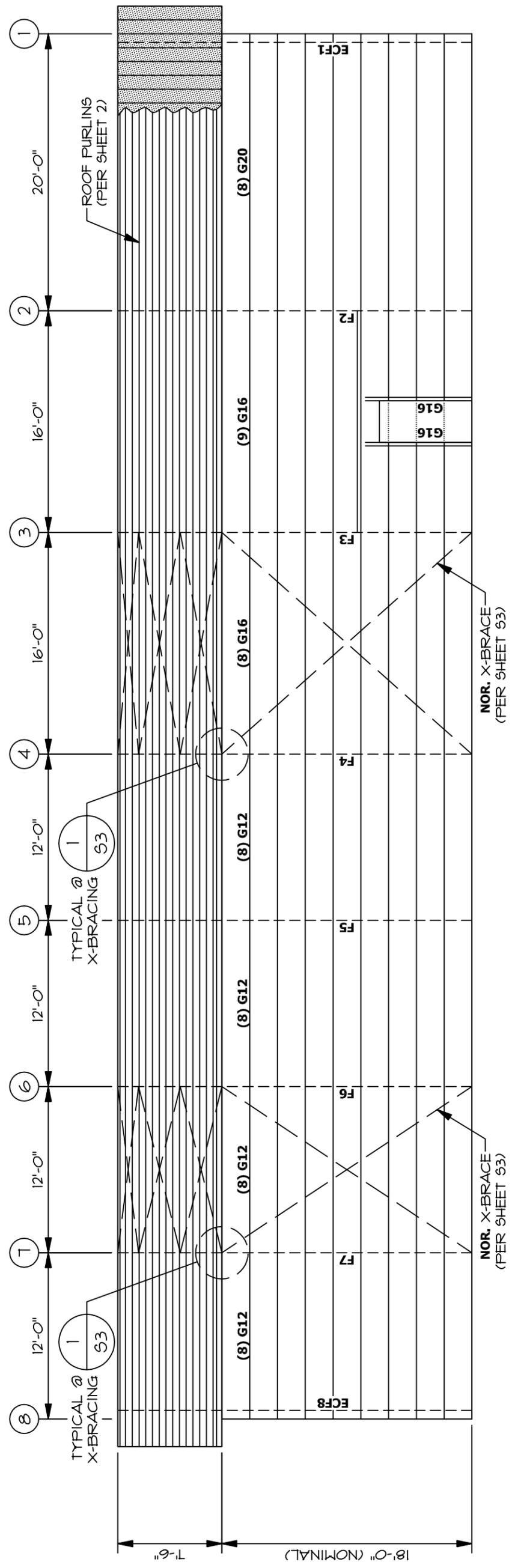
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	35
G14	2x6x14	32
G16	2x6x16	16
G20	2x6x20	6

- DOOR FRAMING NOTES:**
- CANTILEVER WALL GIRTS PAST FRAME LEGS TO OVERHEAD DOOR JAMBS.
 - CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 - FOR REMAINING FRAMING DETAILS SEE SHEET D1.
- (A)** 2x6 BLOCKING EXTENDS TO ROOF FRAMING. ATTACH TO DOOR TRIMMER w/CS16 STRAP WITH 16" MIN. END LENGTH - APPLY TO OUTSIDE OF PLYWOOD w/ 10d NAILS; FILL ALL HOLES.
- (B)** ATTACH 1/2" PLYWOOD (OR OSB) TO WALL FRAMING & EDGE PURLIN WITH 10d NAILS AT 4" o.c. AT PANEL EDGES AND 12" o.c. AT INTERMEDIATE FRAMING. BLOCK ALL PANEL EDGES (NOT SHOWN).

NOTE:

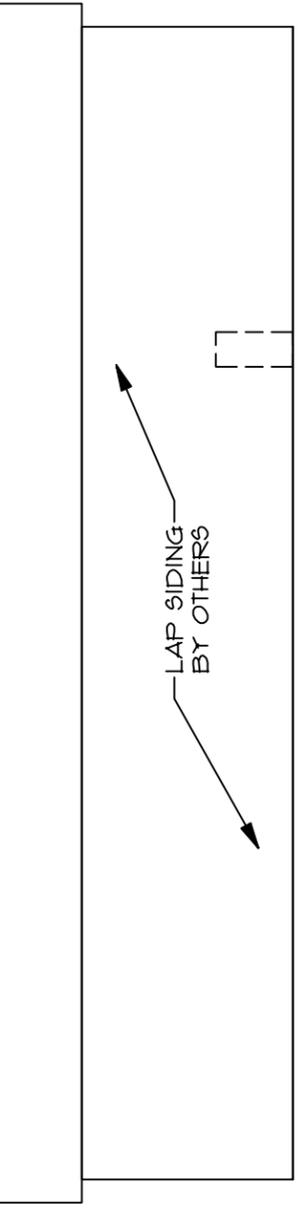
- CUSTOMER TO PROVIDE 1/2" PLYWOOD AND BLOCKING.
- SHEET ENTIRE WALL w/ 1/2" PLYWOOD.



1 REAR SIDEWALL ELEVATION @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/8" = 1'-0"

WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	--
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	19
G20	2x6x20	8



2 REAR SIDEWALL SIDING ELEV. @ LINE F
 VIEW FROM OUTSIDE THE BUILDING @ LINE F
 1/16" = 1'-0"

DOOR FRAMING NOTES:
 1. CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS
 2. FOR REMAINING FRAMING DETAILS SEE SHEET D1.

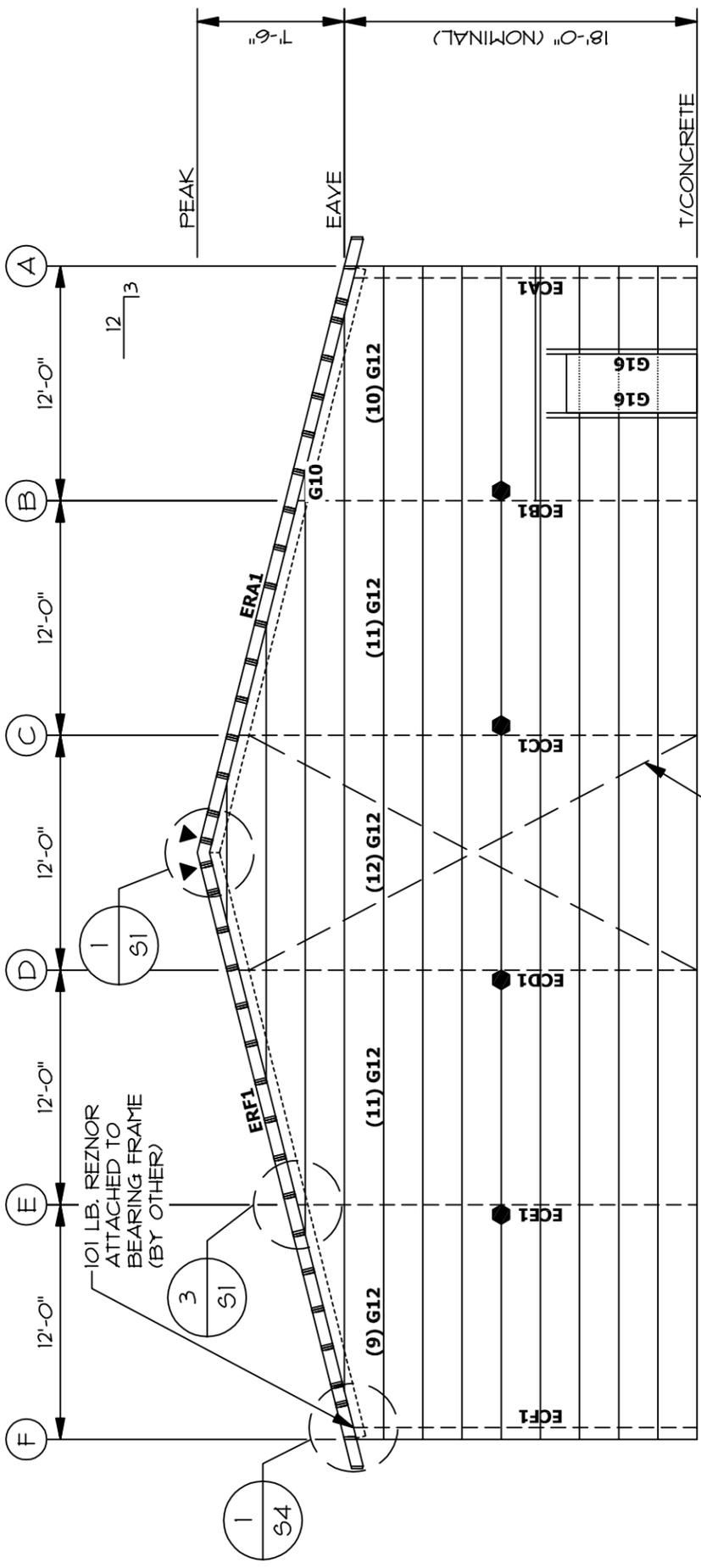
WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	33
G14	2x6x14	--
G16	2x6x16	2

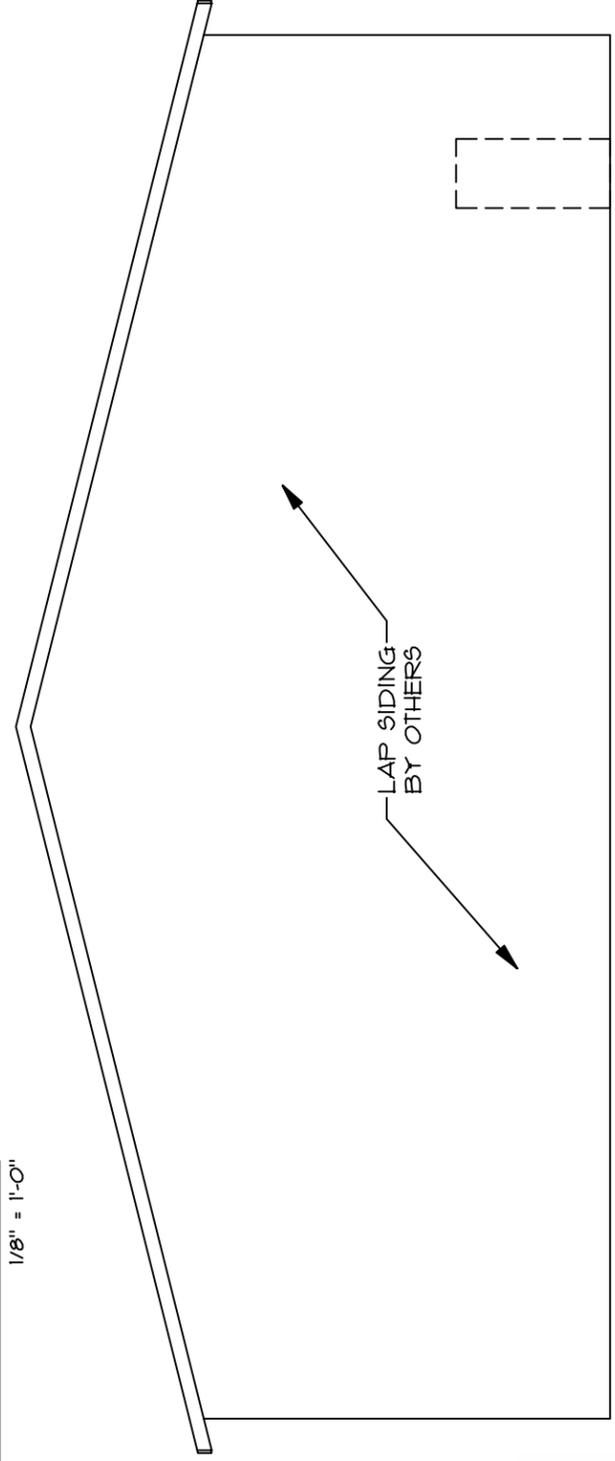
SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1x1x1/8"	2
●	COLUMN BRACE	18"	L1x1x1/8"	4
ERFI	ENDWALL RAFTER FI		C8x11.5	
ERAI	ENDWALL RAFTER AI		C8x11.5	
ECFI	ENDWALL COLUMN FI		HSS3x3x3/16	
ECEI	ENDWALL COLUMN EI		W8x15	
ECDI	ENDWALL COLUMN DI		W8x15	
ECCI	ENDWALL COLUMN CI		W8x15	
ECBI	ENDWALL COLUMN BI		W8x15	
ECAI	ENDWALL COLUMN AI		HSS3x3x3/16	

DOOR FRAMING NOTES:
 1. CONTINUOUS WALL GIRTS BETWEEN DOOR JAMBS FOR REMAINING FRAMING DETAILS SEE SHEET D1.
 2. SEE SHEET D1.

NOTE:
 COLUMN BRACE (PER SHEET N2) @ 10'-0" TYP.



1 LEFT ENDWALL ELEVATION @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"



2 LEFT ENDWALL SIDING ELEV. @ LINE 1
 VIEW FROM OUTSIDE THE BUILDING @ LINE 1
 1/8" = 1'-0"

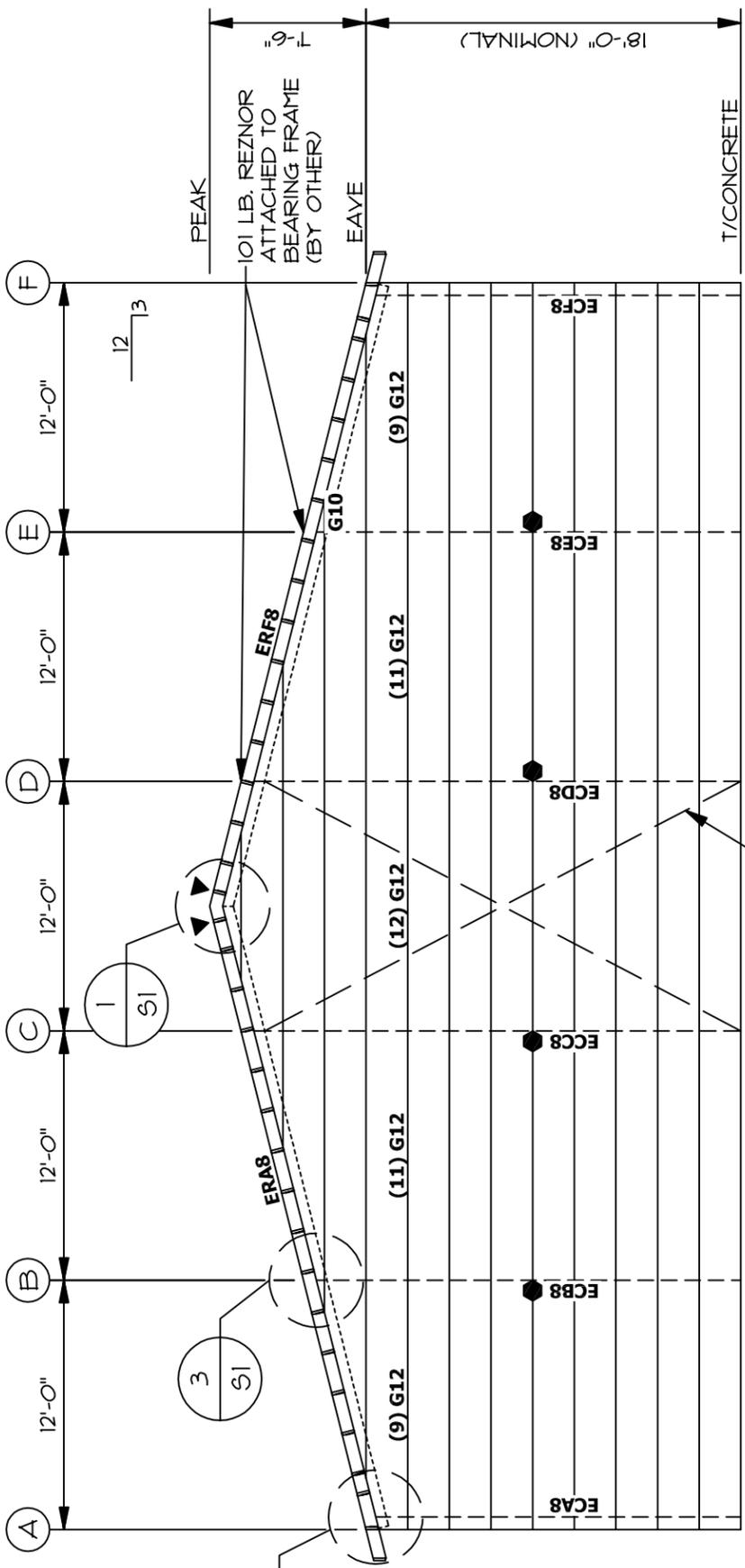


WALL GIRTS: #2 DOUGLAS FIR @ 24" o/c

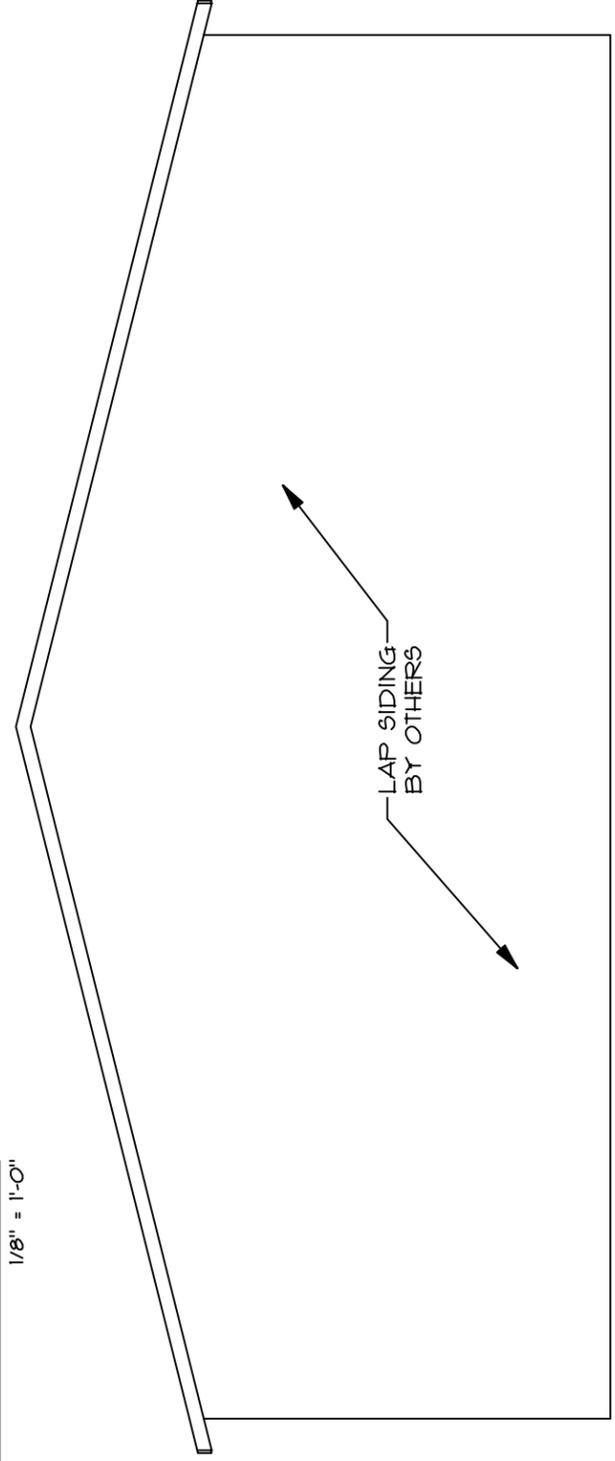
MARK	TYPE	QUANTITY
G10	2x6x10	1
G12	2x6x12	32
G14	2x6x14	--
G16	2x6x16	--

SYM	DESCRIPTION	LENGTH	MEMBER	QTY
▼	RAFTER BRACE	18"	L1x1x1/8"	2
●	COLUMN BRACE	18"	L1x1x1/8"	4
ERA8	ENDWALL RAFTER A8		C8x11.5	
ERF8	ENDWALL RAFTER F8		C8x11.5	
ECA8	ENDWALL COLUMN A8		HSS3x3x3/16	
ECB8	ENDWALL COLUMN B8		W8x15	
ECC8	ENDWALL COLUMN C8		W8x15	
ECD8	ENDWALL COLUMN D8		W8x15	
ECE8	ENDWALL COLUMN E8		W8x15	
ECF8	ENDWALL COLUMN F8		HSS3x3x3/16	

NOTE:
 COLUMN BRACE
 (PER SHEET N2)
 @ 10'-0" TYP.



1 RIGHT ENDWALL ELEVATION @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"



2 RIGHT ENDWALL SIDING ELEV. @ LINE 8
 VIEW FROM OUTSIDE THE BUILDING @ LINE 8
 1/8" = 1'-0"

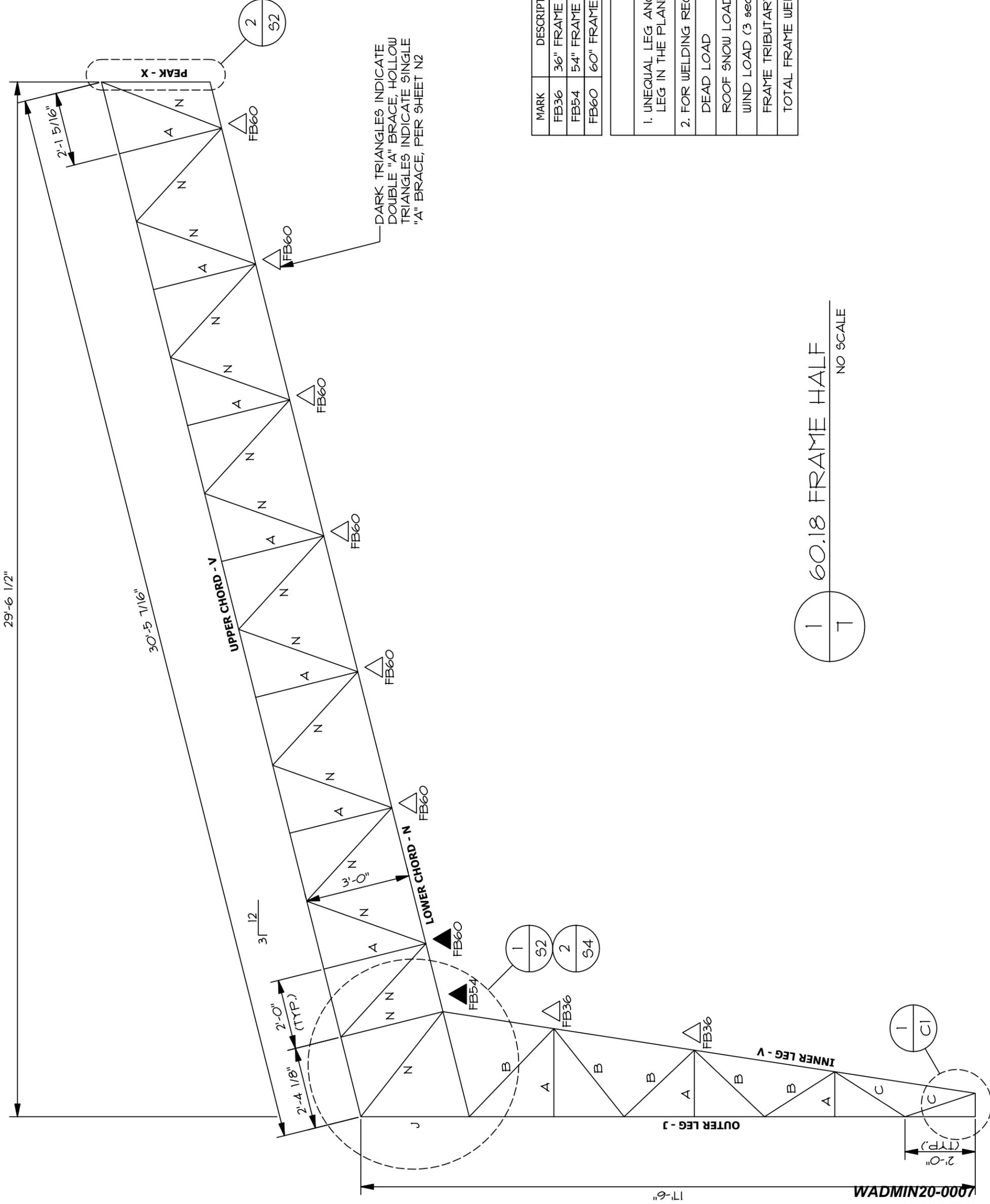


29'-6 1/2"

30'-5 1/16"

UPPER CHORD - V

LOWER CHORD - N



DARK TRIANGLES INDICATE DOUBLE "A" BRACE, HOLLOW TRIANGLES INDICATE SINGLE "A" BRACE, PER SHEET N2

KEY	UPPER CHORD	LOWER CHORD	INNER LEG	OUTER LEG
	L 4x4x.25	L 3x3x.25	L 4x4x.25	L 3x2x.25
KEY				
A	L 1x1x.125			
B	L 1.5x1.5x.125			
C	L 2x2x.125			
D	L 2x2x.18 1/5			
E	L 2x2x.25			
G	L 2x2x.3 1/5			
H	L 3x2x.18 1/5			
J	L 3x2x.25			
L	L 3x2x.3 1/5			
M	L 3x3x.18 1/5			
N	L 3x3x.25			
Q	L 3x3x.3 1/5			
R	L 3x3x.5			
S	L 4x3x.25			
U	L 4x3x.3 1/5			
V	L 4x4x.25			
X	L 4x4x.3 1/5			
Y	L 4x4x.5			
Z	L 6x4x.3 1/5			

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

- UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1 60.18 FRAME HALF
NO SCALE

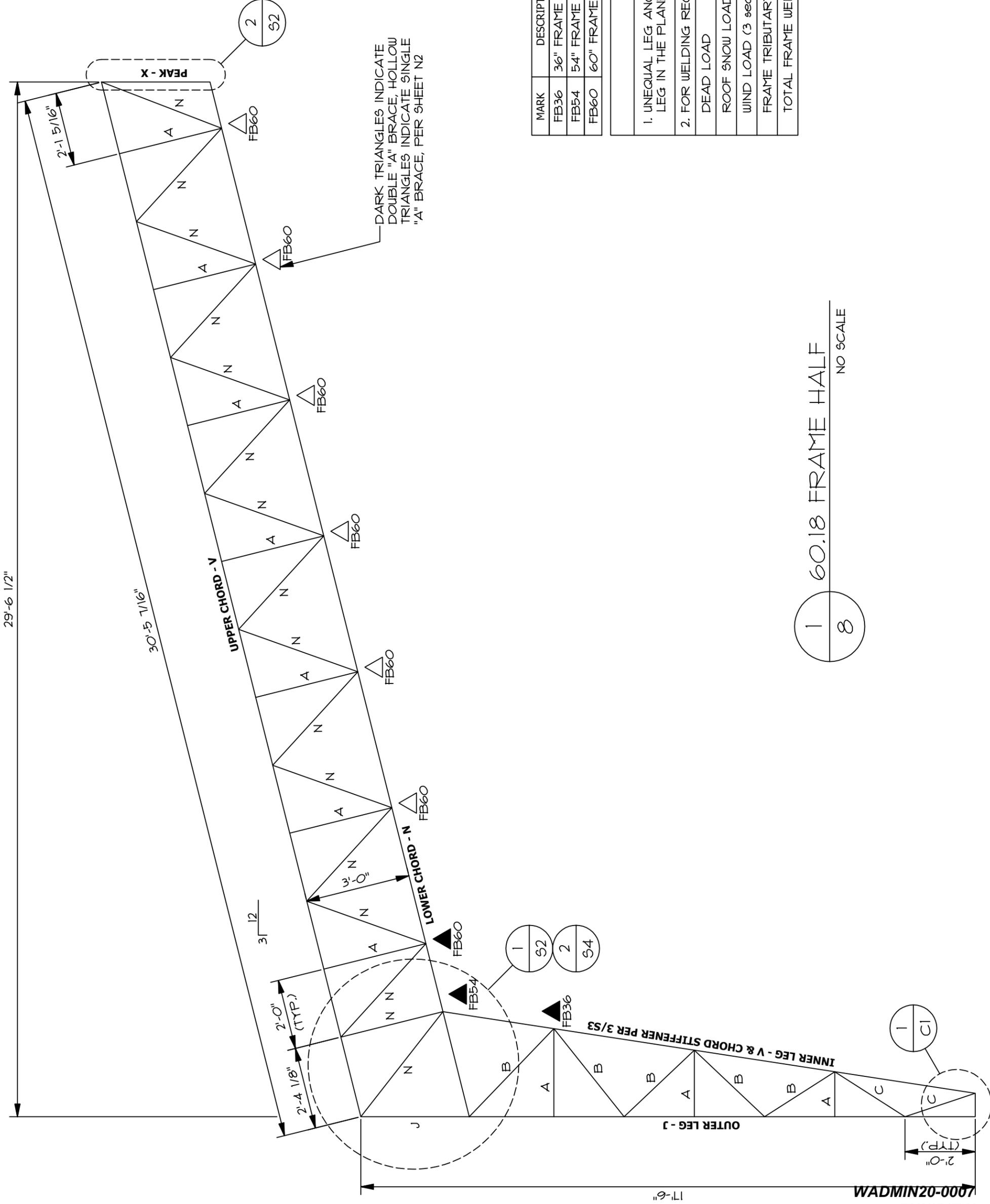


29'-6 1/2"

30'-5 1/16"

UPPER CHORD - V

LOWER CHORD - N



KEY

UPPER CHORD	L 4x4x.25
LOWER CHORD	L 3x3x.25
INNER LEG	L 4x4x.25
OUTER LEG	L 3x2x.25
KEY	
A	L 1x1x.125
B	L 1.5x1.5x.125
C	L 2x2x.125
D	L 2x2x.18 1/5
E	L 2x2x.25
G	L 2x2x.3 1/5
H	L 3x2x.18 1/5
J	L 3x2x.25
L	L 3x2x.3 1/5
M	L 3x3x.18 1/5
N	L 3x3x.25
Q	L 3x3x.3 1/5
R	L 3x3x.5
S	L 4x3x.25
U	L 4x3x.3 1/5
V	L 4x4x.25
X	L 4x4x.3 1/5
Y	L 4x4x.5
Z	L 6x4x.3 1/5

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

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 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1 / 8 60.18 FRAME HALF
NO SCALE



29'-6 1/2"

30'-5 1/16"

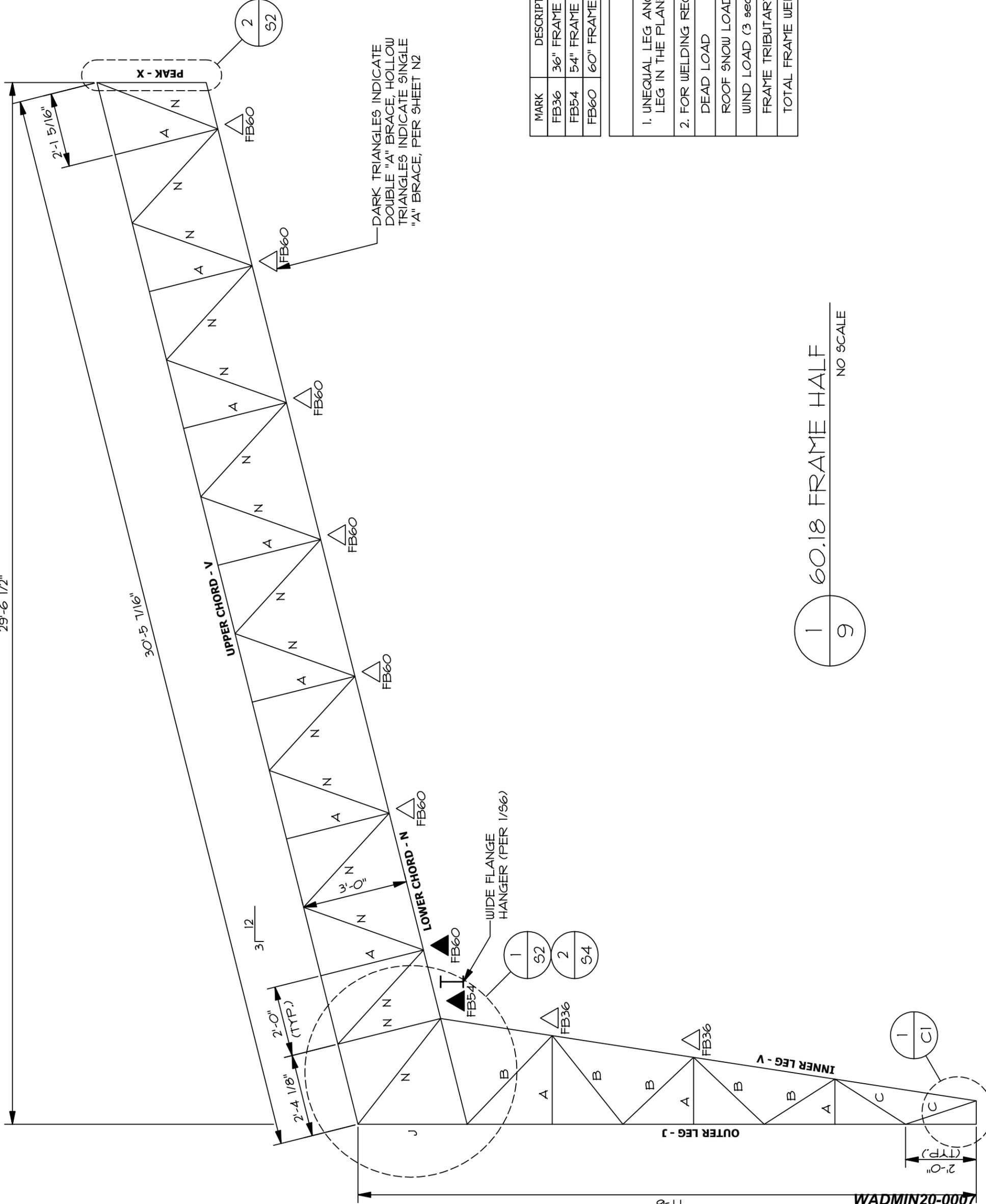
UPPER CHORD - V

LOWER CHORD - N

OUTER LEG - J

INNER LEG - V

WADMIN20-0007
EXHIBIT H



KEY	MEMBER	QTY
UPPER CHORD	L 4x4x.25	2
LOWER CHORD	L 3x3x.25	2
INNER LEG	L 4x4x.25	2
OUTER LEG	L 3x2x.25	8
KEY		
A	L 1x1x.125	
B	L 1.5x1.5x.125	
C	L 2x2x.125	
D	L 2x2x.18 15	
E	L 2x2x.25	
G	L 2x2x.3 15	
H	L 3x2x.18 15	
J	L 3x2x.25	
L	L 3x2x.3 15	
M	L 3x3x.18 15	
N	L 3x3x.25	
Q	L 3x3x.3 15	
R	L 3x3x.5	
S	L 4x3x.25	
U	L 4x3x.3 15	
V	L 4x4x.25	
X	L 4x4x.3 15	
Y	L 4x4x.5	
Z	L 6x4x.3 15	

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

- UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 - FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |



1 60.18 FRAME HALF
NO SCALE

1 C1

2'-0" (TYP.)

29'-6 1/2"

30'-5 1/16"

UPPER CHORD - V

101 LB. REZTOR ATTACHED TO FRAME (BY OTHER)

3'-0"

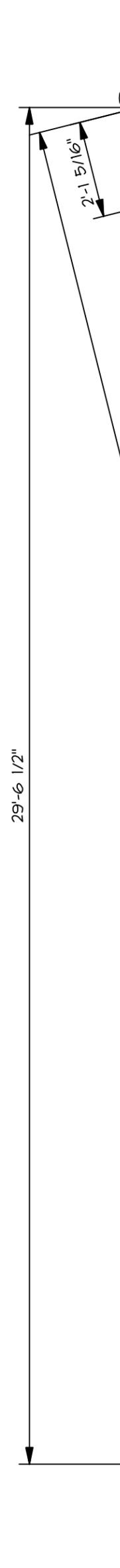
2'-4 1/8" (TYP.)

2'-0" (TYP.)

3'-0"

LOWER CHORD - N

FB60



2
S2

1
S2

2
S4

1
C1

2'-0" (TYP.)

17'-6"

WADMIN20-0007

EXHIBIT H

KEY	MEMBER	QTY
UPPER CHORD	L 4x4x.25	2
LOWER CHORD	L 3x3x.25	2
INNER LEG	L 4x4x.25	2
OUTER LEG	L 3x2x.25	8
KEY		
A	L 1x1x.125	
B	L 1.5x1.5x.125	
C	L 2x2x.125	
D	L 2x2x.18 1/5	
E	L 2x2x.25	
G	L 2x2x.3 1/5	
H	L 3x2x.18 1/5	
J	L 3x2x.25	
L	L 3x2x.3 1/5	
M	L 3x3x.18 1/5	
N	L 3x3x.25	
Q	L 3x3x.3 1/5	
R	L 3x3x.5	
S	L 4x3x.25	
U	L 4x3x.3 1/5	
V	L 4x4x.25	
X	L 4x4x.3 1/5	
Y	L 4x4x.5	
Z	L 6x4x.3 1/5	

MARK	DESCRIPTION	LENGTH	MEMBER	QTY
FB36	36" FRAME BRACE	36"	L1.5"x1.5"x1/8"	2
FB54	54" FRAME BRACE	54"	L1.5"x1.5"x1/8"	2
FB60	60" FRAME BRACE	60"	L1.5"x1.5"x1/8"	8

NOTES:

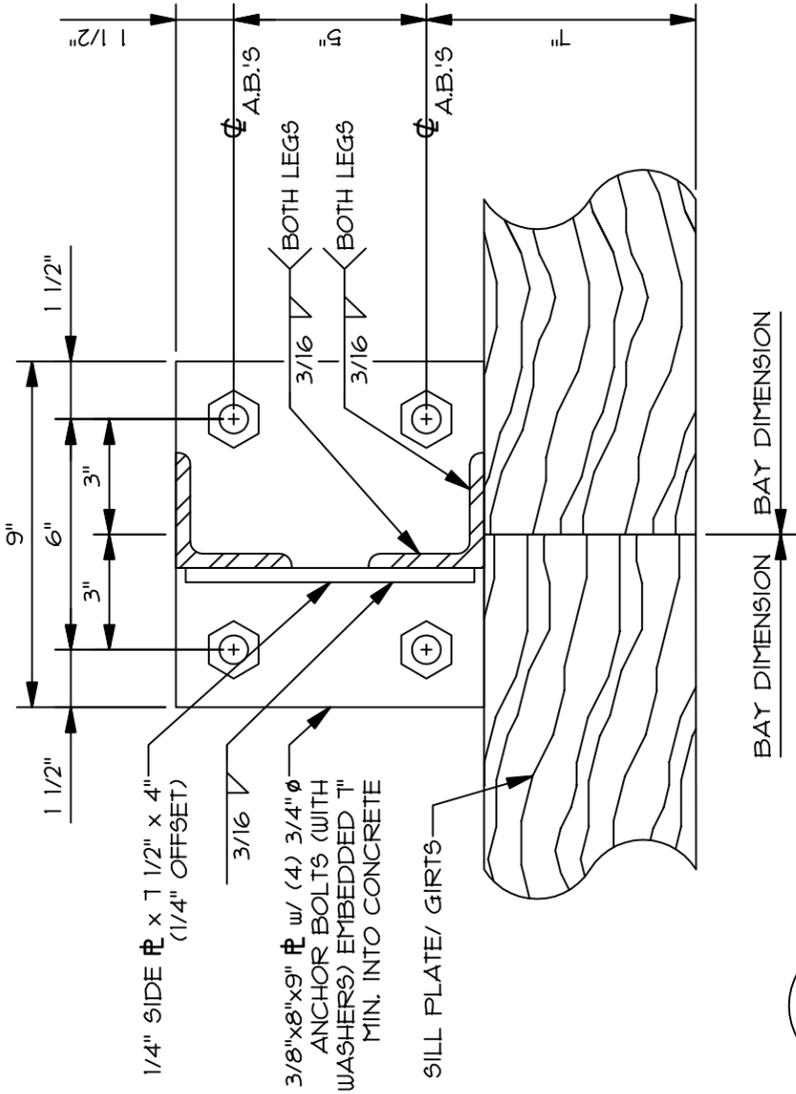
1. UNEQUAL LEG ANGLES TO BE PLACED WITH LONG LEG IN THE PLANE OF THE FRAME.
 2. FOR WELDING REQUIREMENTS, SEE SHEETS S2 & S3.
- | | |
|------------------------|-------------------|
| DEAD LOAD | 5 psf |
| ROOF SNOW LOAD | 25 psf |
| WIND LOAD (3 sec GUST) | 120 mph, EXP. 'C' |
| FRAME TRIBUTARY WIDTH | 18'-0" |
| TOTAL FRAME WEIGHT | 2100 lbs. |

1
10

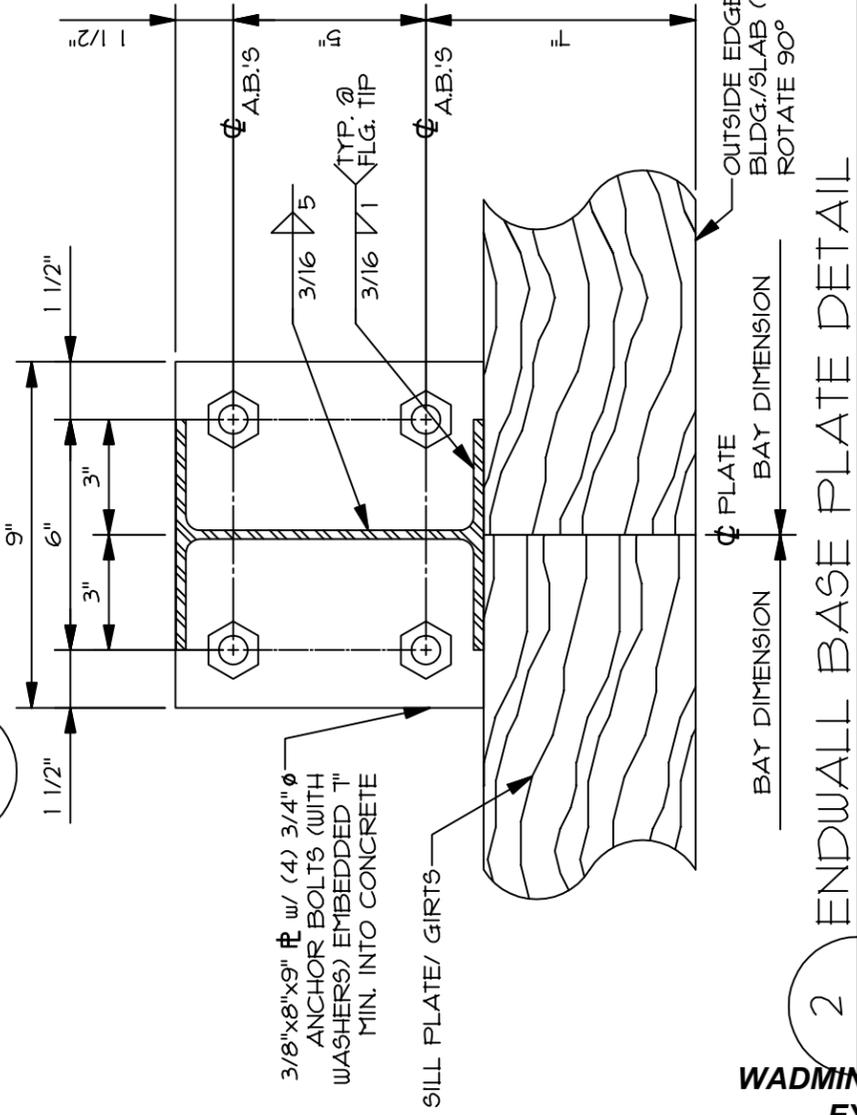
60.18 FRAME HALF

NO SCALE

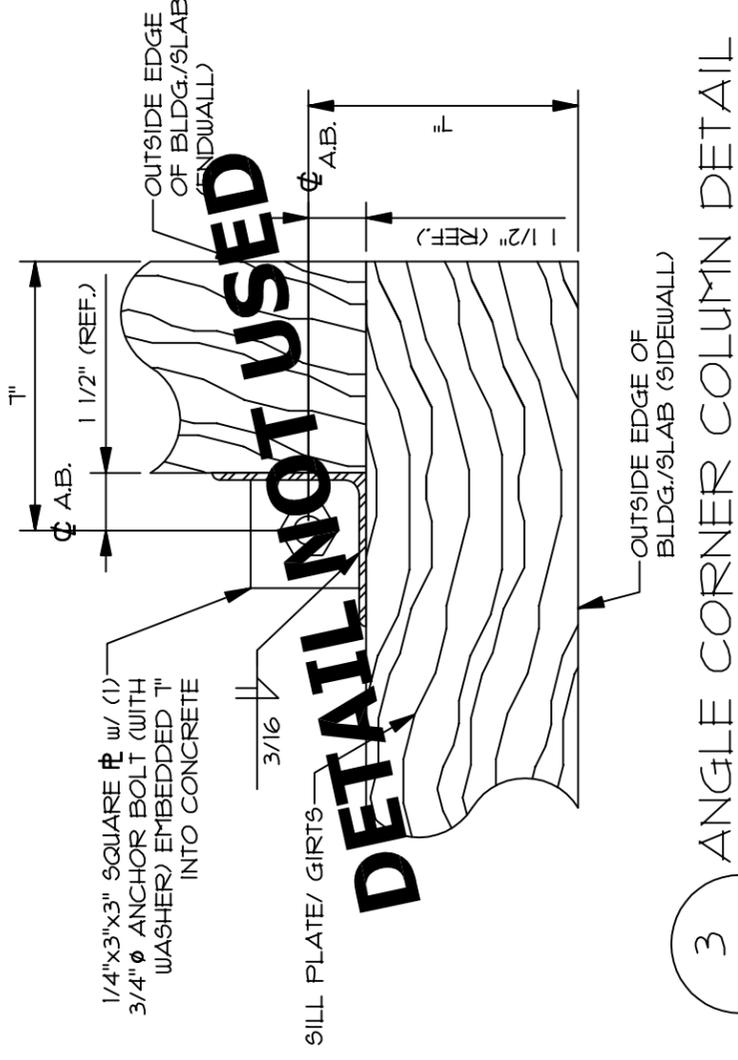




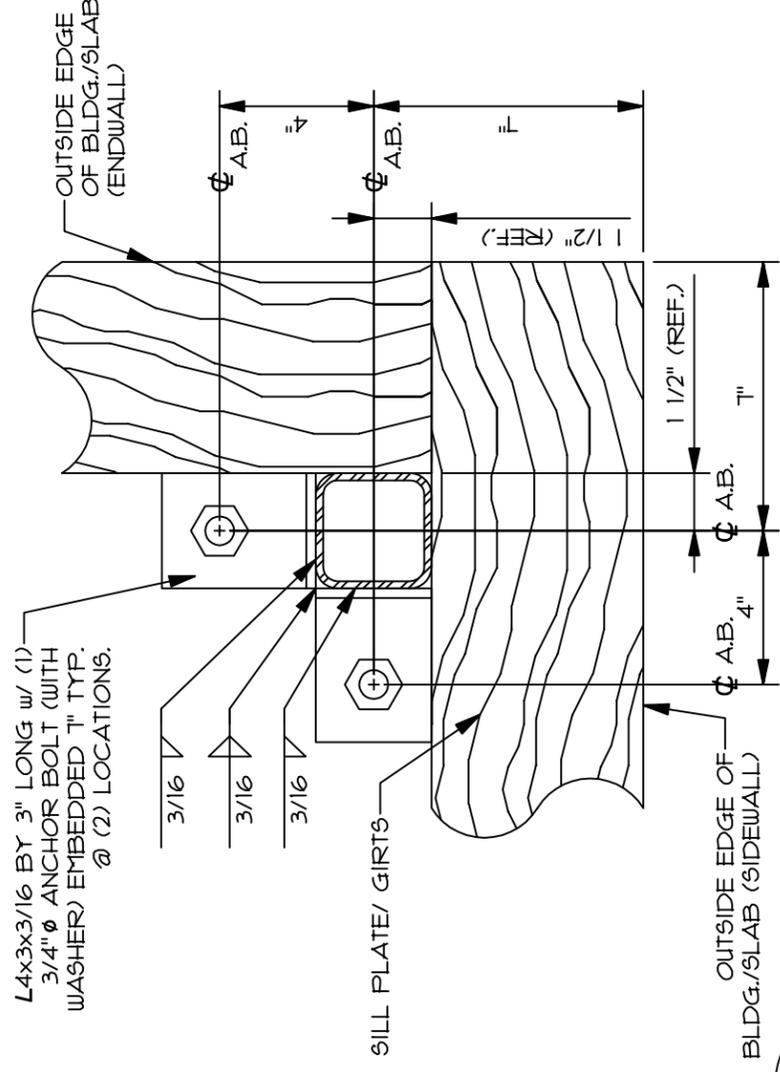
1 FRAME BASE PLATE DETAIL
C1



2 ENDWALL BASE PLATE DETAIL
C1

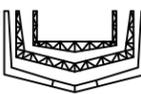


3 ANGLE CORNER COLUMN DETAIL
C1



4 HSS3x3x3/16 CORNER COLUMN DETAIL
C1

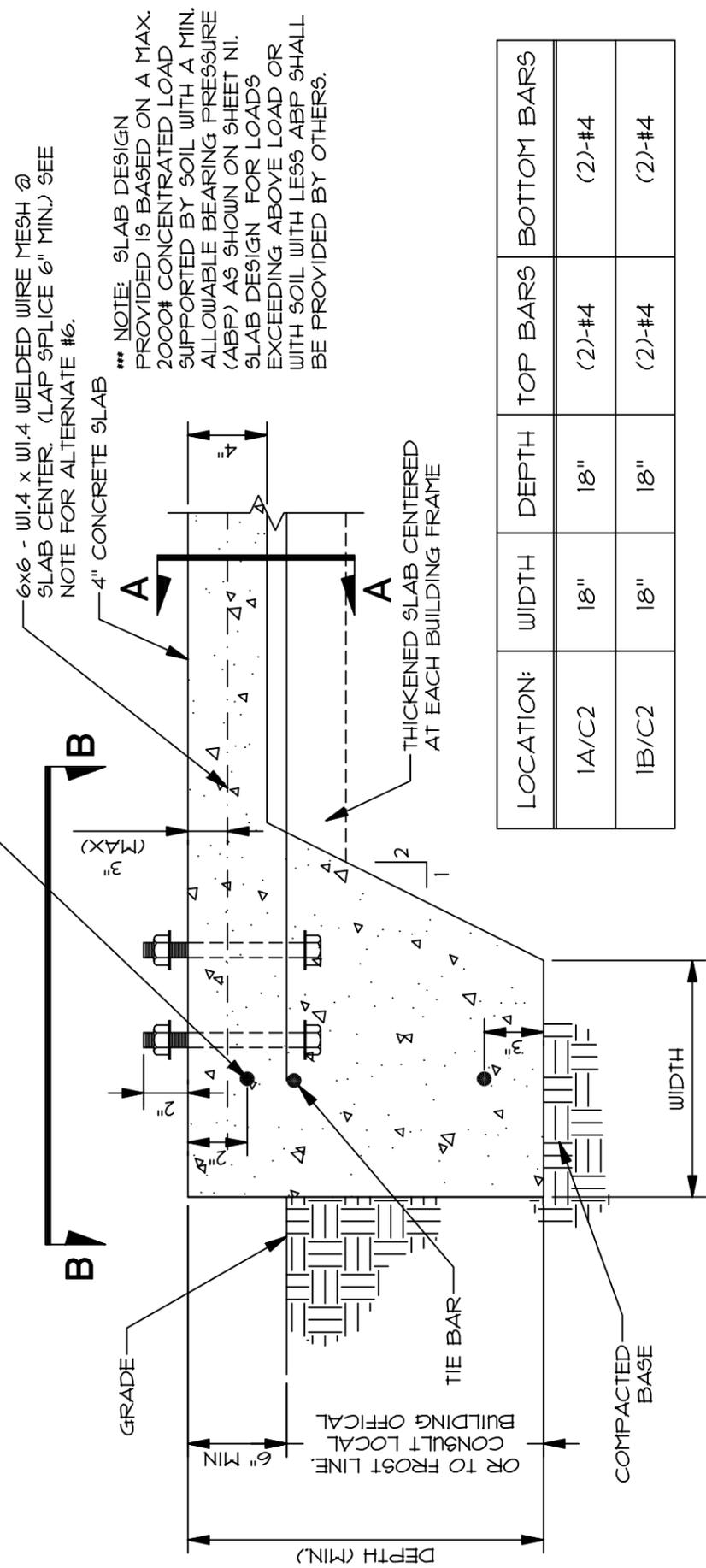
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ANCHOR BOLT DETAILS



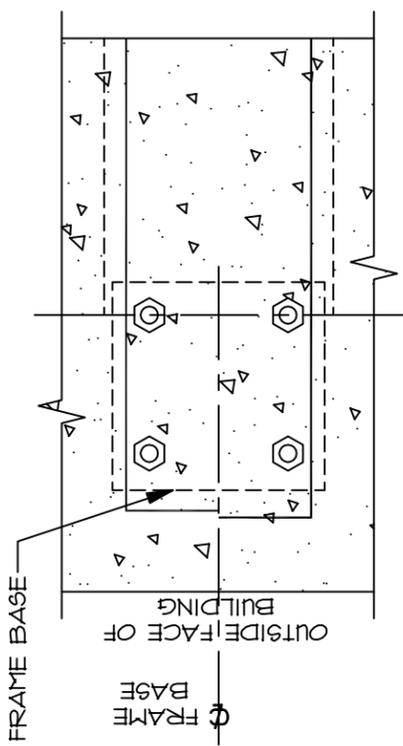
REINFORCING BARS (SEE SCHEDULE BELOW FOR SIZE AND NUMBER OF BARS WHICH MAY DIFFER FROM THOSE SHOWN). PLACE AT LEAST ONE TOP BAR TO OUTSIDE OF ANCHOR BOLTS AT FRAME AND COLUMN BASES. EXTEND BARS 24" MIN. AROUND CORNERS.)



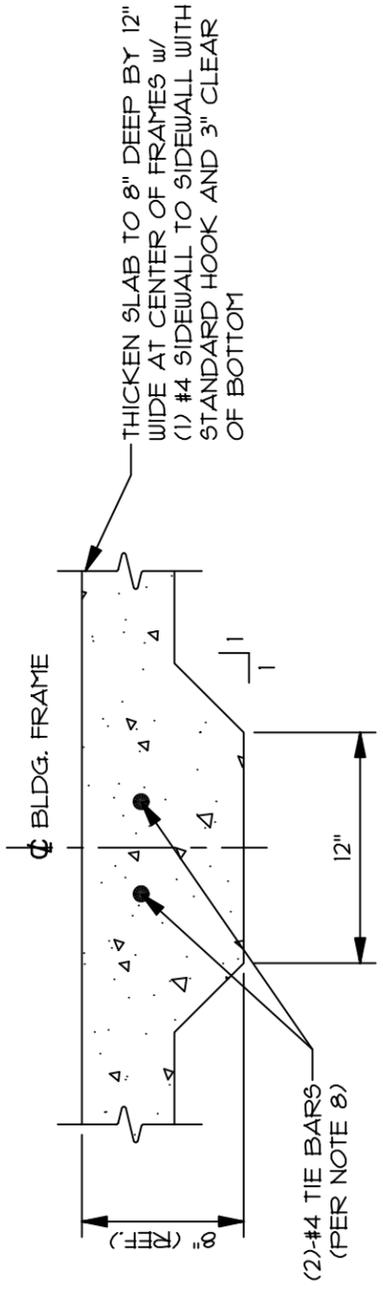
6x6 - W1.4 x W1.4 WELDED WIRE MESH @ SLAB CENTER. (LAP SPLICE 6" MIN.) SEE NOTE FOR ALTERNATE #6.
4" CONCRETE SLAB
*** NOTE: SLAB DESIGN PROVIDED IS BASED ON A MAX. 2000# CONCENTRATED LOAD SUPPORTED BY SOIL WITH A MIN. ALLOWABLE BEARING PRESSURE (ABP) AS SHOWN ON SHEET NI. SLAB DESIGN FOR LOADS EXCEEDING ABOVE LOAD OR WITH SOIL WITH LESS ABP SHALL BE PROVIDED BY OTHERS.

LOCATION:	WIDTH	DEPTH	TOP BARS	BOTTOM BARS
1A/C2	18"	18"	(2)-#4	(2)-#4
1B/C2	18"	18"	(2)-#4	(2)-#4

1 TYPICAL SLAB EDGE DETAIL
1 1/2" = 1'-0"



SECTION B-B



SECTION A-A

NOTES:

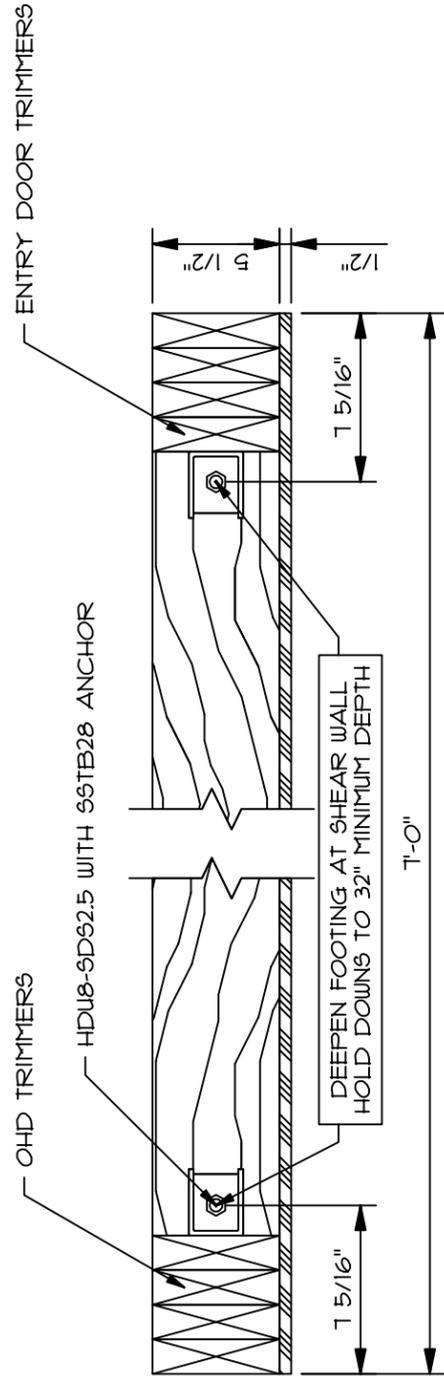
- FOUNDATION AND SLAB DESIGN IS BASED UPON 1500 PSF ALLOWABLE FOUNDATION PRESSURE.
- MATERIAL SUPPORTING FOUNDATION SHALL BE A DRY GRANULAR WELL DRAINING MATERIAL.
- GROUND LOCATIONS THAT DO NOT MEET MINIMUM DESIGN REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH COMPACTED MATERIAL DESIGNED BY OTHERS, TO PROVIDE A UNIFORM SUBGRADE.
- FOUNDATION DRAINAGE, DAMP PROOFING, AND CONCRETE FINISH ARE BY OTHERS.
- CONTRACTOR TO PROVIDE SAW CUT JOINTS, AS RECOMMENDED BY LOCAL INDUSTRY ACI OR PCA STANDARDS, FOR SURFACE CRACK CONTROL. ENSURE SPECIFIED REINFORCING RUNS CONTINUOUSLY THROUGH ALL JOINTS. FILL JOINTS WITH SEMI-RIGID FILLER.
- FIBROUS REINFORCING WITH A CURRENT ICC EVALUATION REPORT, MAY BE USED FOR SURFACE CRACK CONTROL. MANUFACTURER'S SPECIFICATIONS SHALL BE FOLLOWED.
- THE BARS, IF SPECIFIED, SHALL RUN CONTINUOUSLY THE FULL WIDTH OF THE STRUCTURE AND TERMINATE AT EACH SIDEWALL FOUNDATION WITH A STANDARD HOOK AND 3" OF COVER.
- SEE SHEET NI GENERAL NOTES FOR ADDITIONAL INFORMATION.



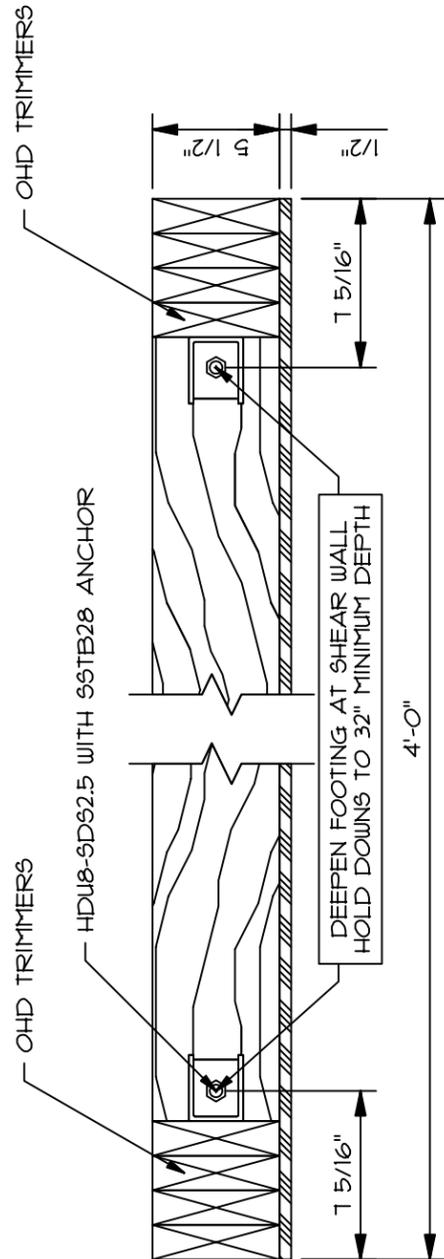
JOB NO: V20-013	DRAWN: NSC
DATE: 4/27/2020	


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SHEAR WALL ANCHORS



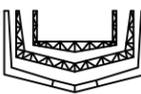
2 SHEAR WALL ANCHOR DETAIL
 AT FRONT SIDEWALL
 C3



1 SHEAR WALL ANCHOR DETAIL
 AT FRONT SIDEWALL
 C3

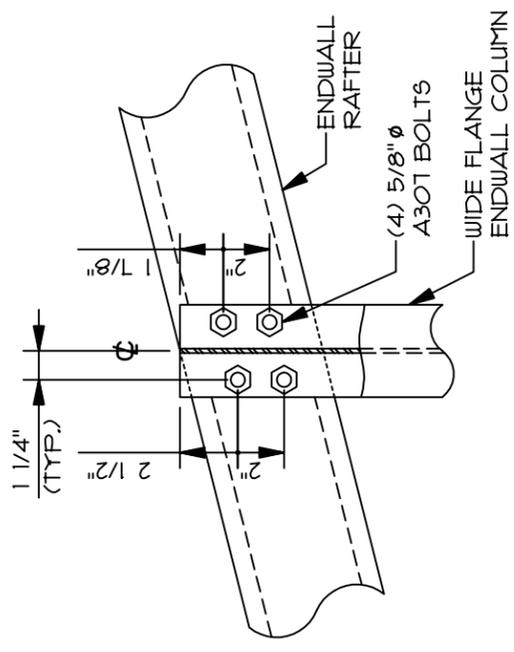
NOTES:
 1. SHEATH ENTIRE WALL w/ 1/2" PLYWOOD (PROVIDED BY CUSTOMER)
 2. FRAME AND/OR COLUMNS NOT SHOWN FOR CLARITY

JOB NO: V20-013	DRAWN: NSC
DATE: 4/27/2020	

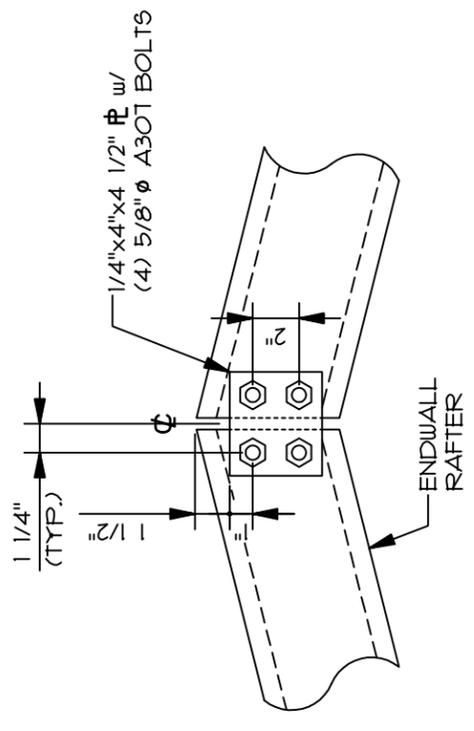

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RAFTER CONNECTION DETAILS

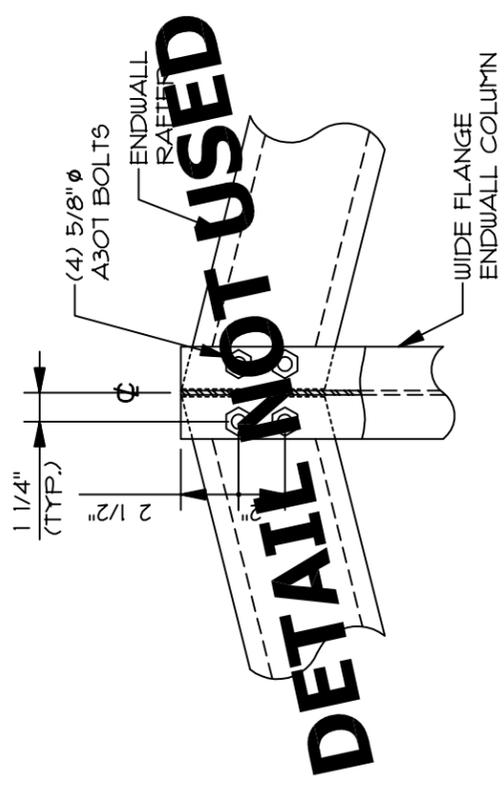
SHEET **S1**



3 ENDWALL RAFTER TO COLUMN DETAIL
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"



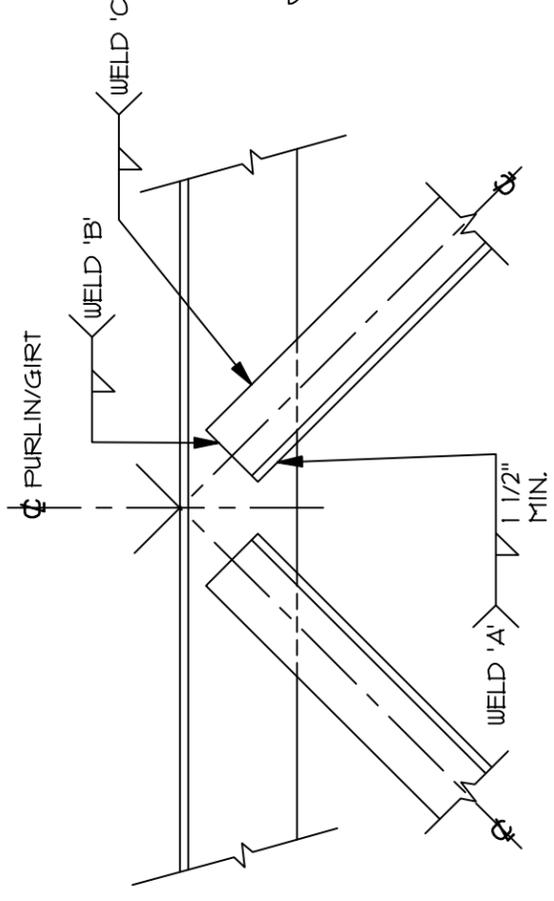
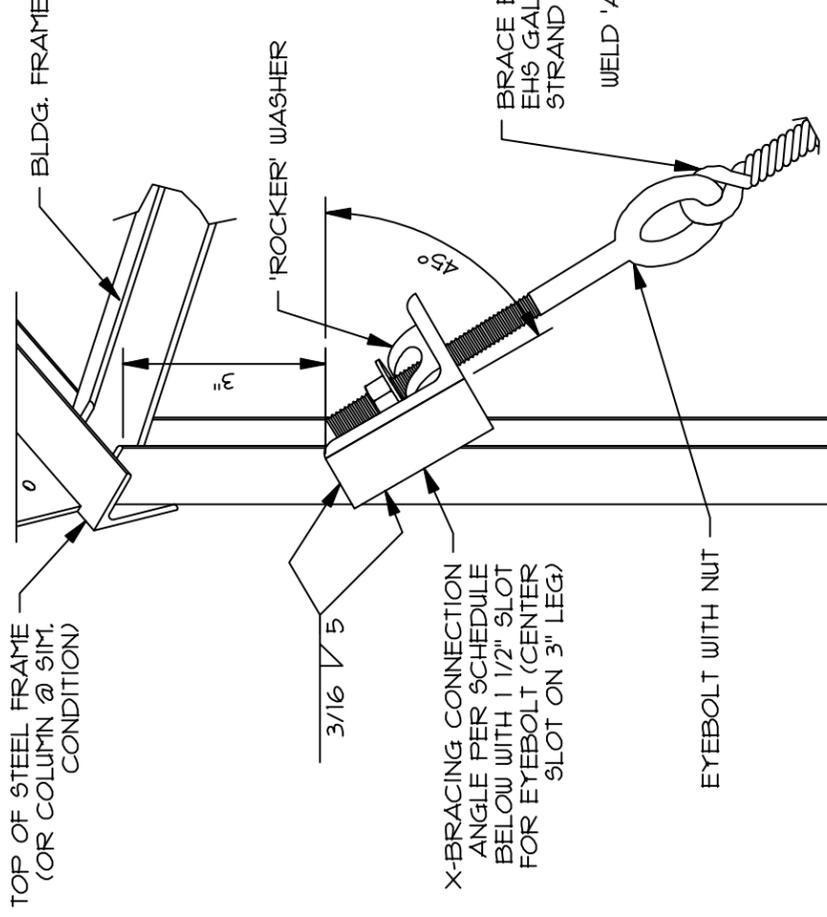
1 ENDWALL PEAK DETAIL
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"



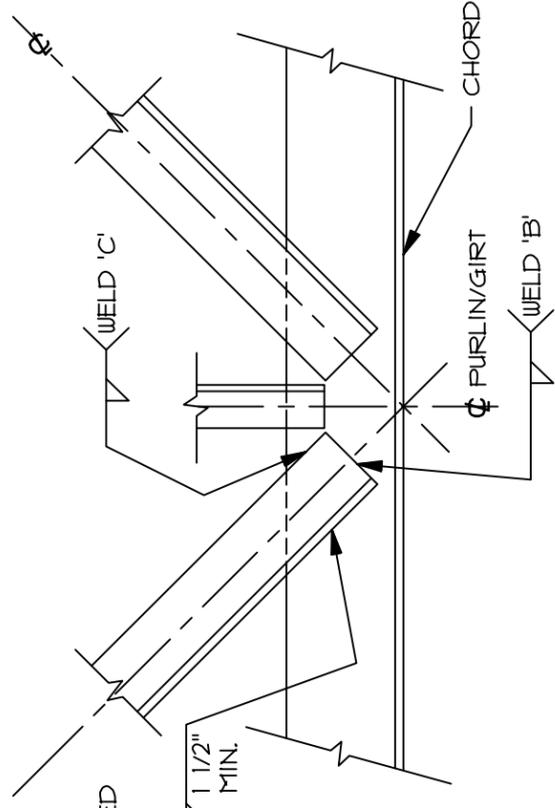
2 ENDWALL PEAK DETAIL @ COLUMN
 S1 VIEWED FROM INSIDE THE BUILDING 1 1/2" = 1'-0"

NOTE:
DURING INITIAL X-BRACE INSTALLATION, TIGHTEN CABLE SUCH THAT NO SAG OCCURS, THEN TURN NUT AT ONE END AN ADDITIONAL (2) FULL TURNS.

CUSTOMER SHALL PERFORM PERIODIC INSPECTION OF ALL X-BRACING CABLES TO ENSURE TAUTNESS. IF CABLES HAVE LOOSENED, REPEAT INSTALLATION PROCEDURE ABOVE.



FRAME JOINT AT 2-MEMBER CONN.



FRAME JOINT AT 3-MEMBER CONN.

LOCATION	ASSEMBLY DESIGNATION			
	EYEBOLT	GRIP LENGTH	CABLE	CONN. ANGLE
ENDWALLS	1/2" ϕ	19 1/2" LONG	1/4" ϕ	L5x3x3/8 x 2 1/2"
	5/8" ϕ	30" LONG	3/8" ϕ	L5x3x1/2 x 3"
ROOF	1/8" ϕ	36" LONG	1/2" ϕ	L6x4x1/2 x 3 1/2"
	1/2" ϕ	36" LONG	1/2" ϕ	L6x4x1/2 x 3 1/2"

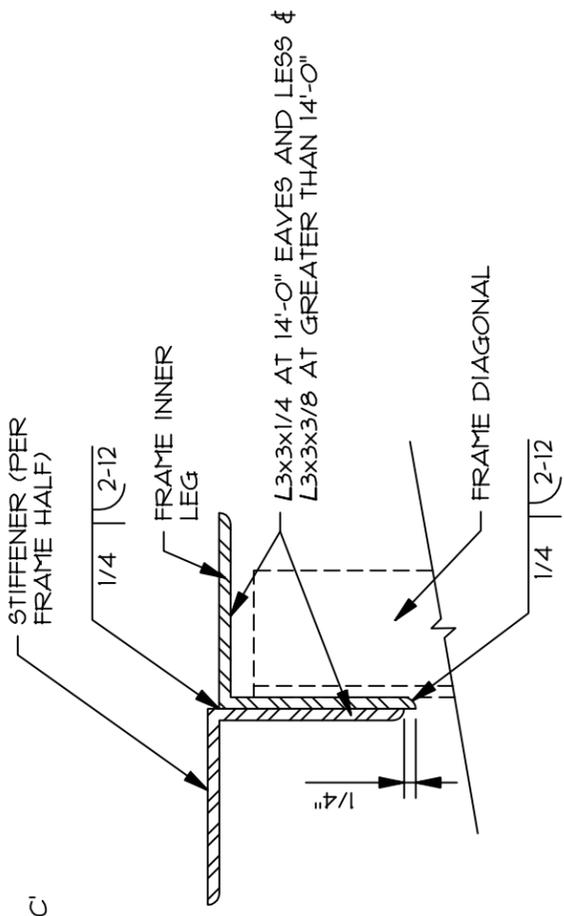
FRAME WELD CONNECTION

NO SCALE

1 X-BRACING CONN. DETAILS

NO SCALE

S3



CHORD STIFFENER WELDING

NO SCALE

3 S3

STIFFENER NOTES:

1. WELD LEG SIZE TO MATCH STIFFENER THICKNESS.
2. TOTAL WELD LENGTH AT THE ENDS IS THE SAME AS NOTE 3 OF WELDING REQUIREMENT, DET. 2/53.
3. AT INNER LEG STIFFENERS, EXTEND TO WITHIN 6" OF HAUNCH CONNECTION AT TOP ANGLE AND WITHIN 6" OF BASE PLATE AT BOTTOM.

WELDING REQUIREMENTS (DET. 2/53)

1. CENTERLINES OF WEB MEMBERS SHALL ALIGN AT COMMON POINT AS SHOWN.
2. FILLET WELD LEG SIZE TO MATCH WEB MEMBER THICKNESS.
3. MIN. TOTAL WELD LENGTH AT EA. END OF MEMBER:
4" FOR L 1 x 1
5 1/2" FOR L 1.5 x 1.5
7" FOR L 2 x 2
10" FOR L 3 x 3
4. WELDING SEQUENCE: WELD 'A' FIRST, WELD 'B' SECOND, THEN WELD 'C'.
CLIP CORNER OF WEB MEMBER AS REQ'D TO ATTAIN SPECIFIED WELD. WELD ON BACK IF MIN. WELD NOT POSSIBLE ON FRONT.
- 5.



X-BRACE DETAILS

SHEET

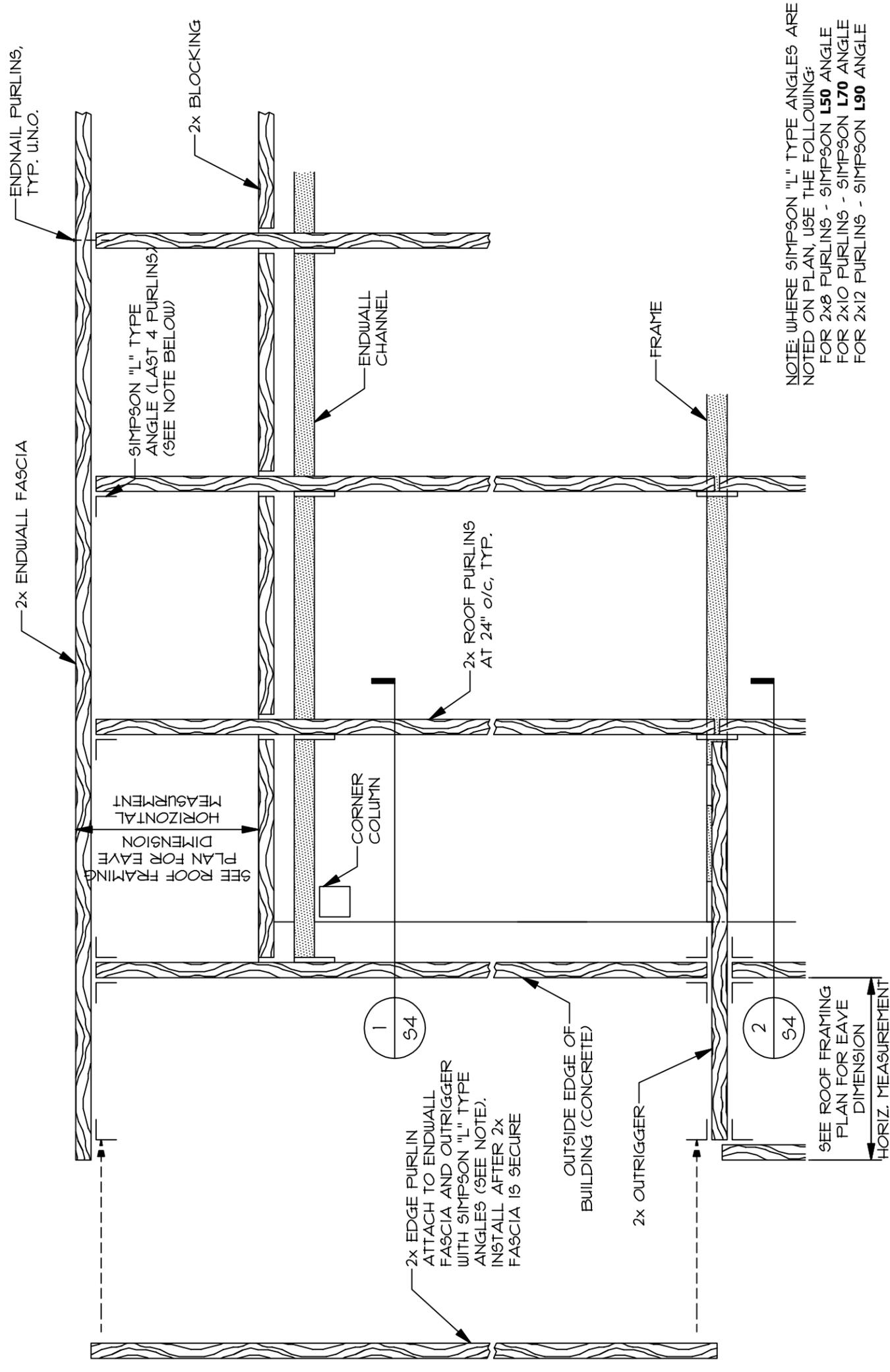
S3

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EAVE FRAMING DETAILS
 PLAN VIEW AT EXTENDED EAVES AND EXTENDED GABLES

SHEET S5



NOTE: WHERE SIMPSON "L" TYPE ANGLES ARE NOTED ON PLAN, USE THE FOLLOWING:
 FOR 2x8 PURLINS - SIMPSON L50 ANGLE
 FOR 2x10 PURLINS - SIMPSON L70 ANGLE
 FOR 2x12 PURLINS - SIMPSON L90 ANGLE

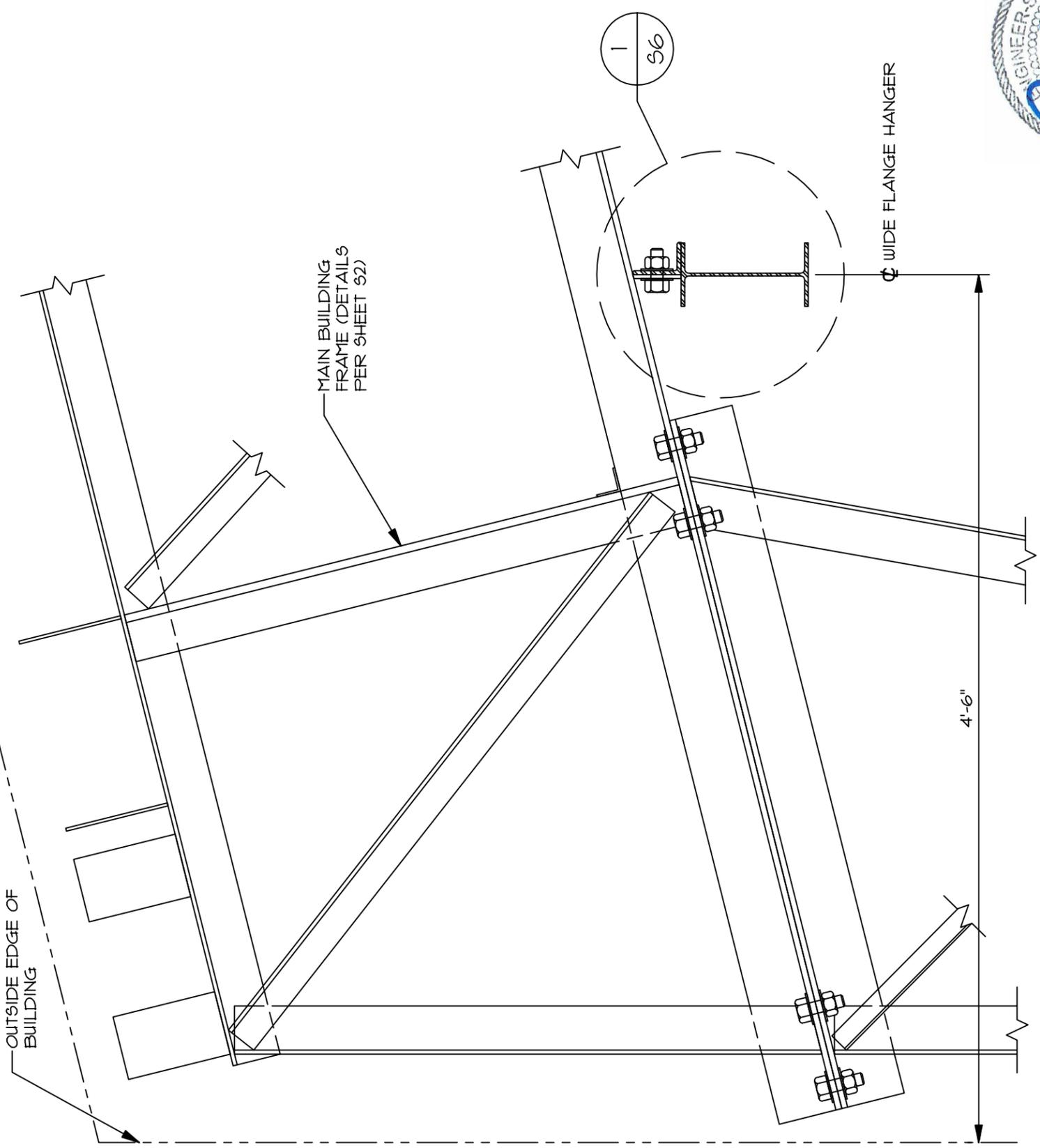
1 PLAN VIEW - EXTENDED EAVES AT SIDEWALLS AND ENDWALLS
 NO SCALE
 S5

JOB NO:	V20-013
DATE:	4/27/2020
DRAWN:	NSC

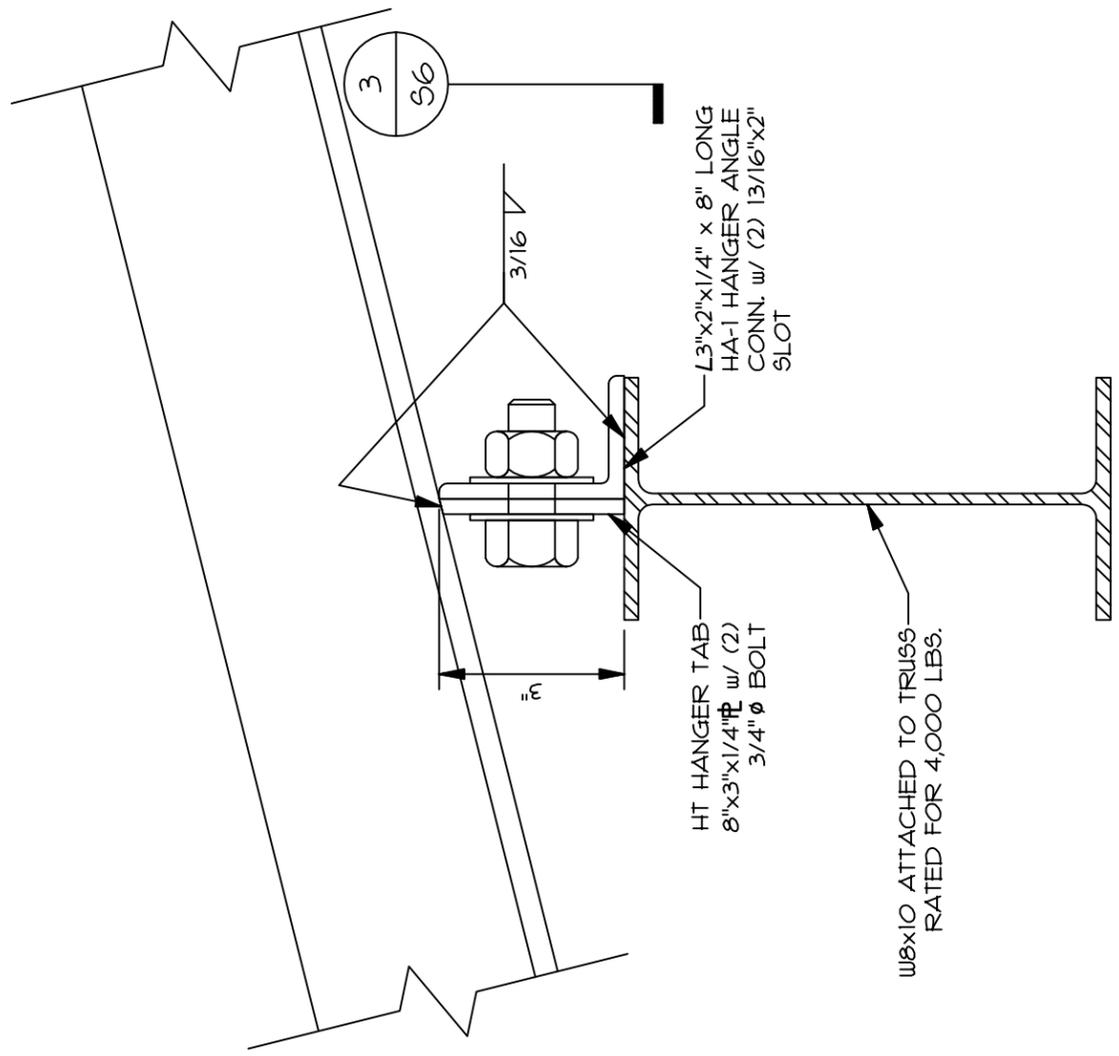
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WIDE FLANGE HANGER DETAILS

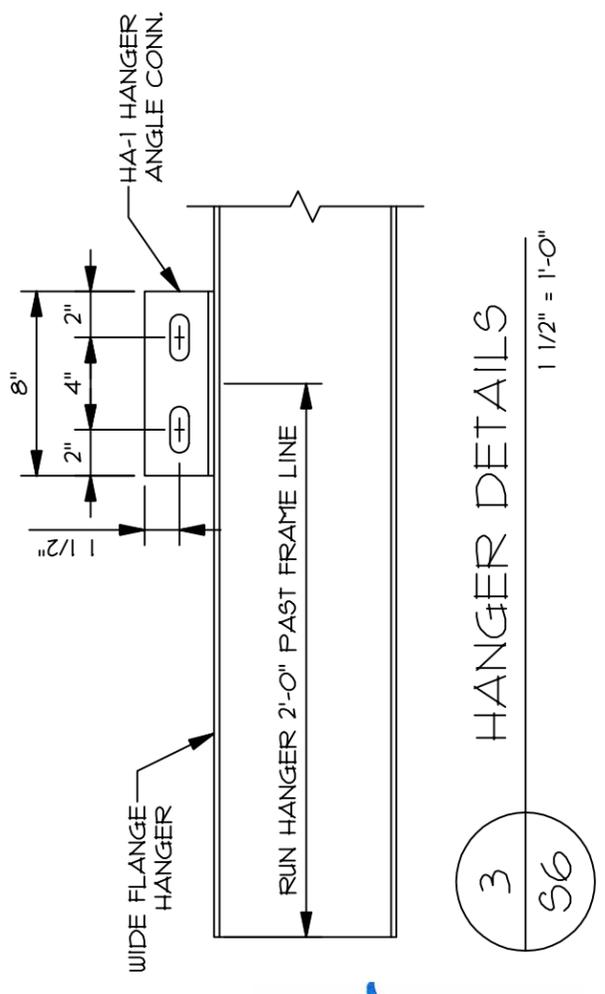
SHEET **S6**



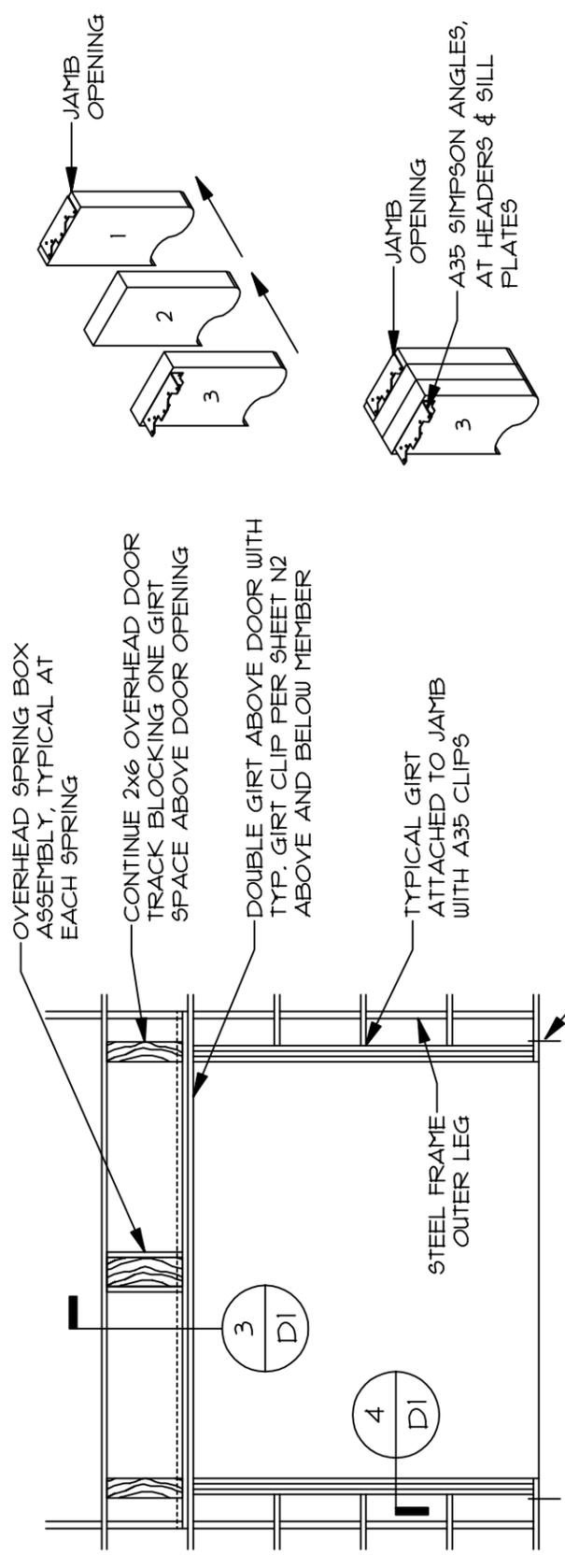
1 HANGER LOCATION
1 1/2" = 1'-0"



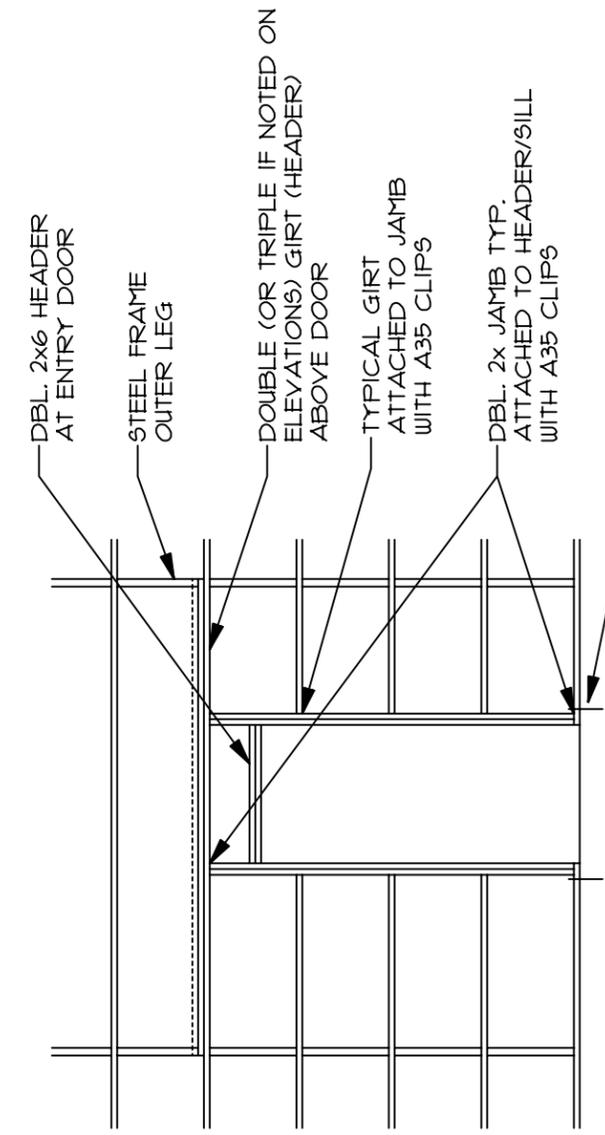
2 HANGER DETAILS
4" = 1'-0"



3 HANGER DETAILS
1 1/2" = 1'-0"

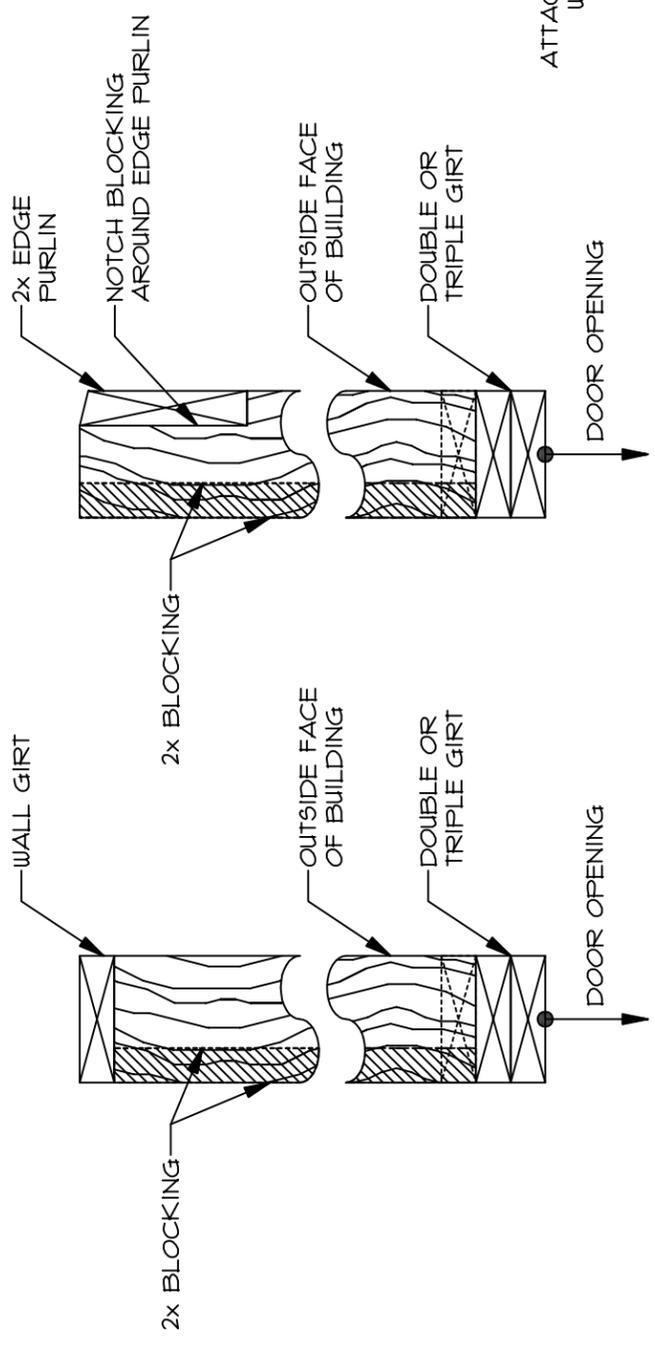


2 OHD FRAMING DETAIL
 NO SCALE
 D1

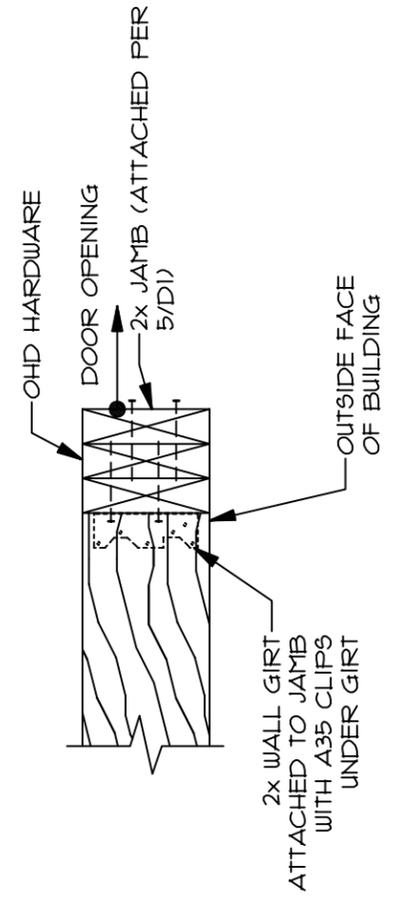


1 ENTRY DOOR FRAMING DETAIL
 NO SCALE
 D1

HEADER & JAMB CONNECTION SCHEDULE
 (2) 2x6: (2) ROWS 16d NAILS AT 8" oc
 (3) 2x6: (2) ROWS 16d NAILS AT 8" oc ON EACH FACE
 (4) 2x6: SDS25600 SCREWS AT 8" oc (STAGGERED)
 -1/4" MAY BE REMOVED FROM THE 2X FACE AT ANGLE LOCATIONS



3 OHD SPRING BOX
 1 1/2" = 1'-0"
 D1



4 OHD JAMB SECTION
 NO SCALE
 D1

5 JAMB DETAIL
 NO SCALE
 D1

